

Agenda

Planning Commission

City of Kalamazoo



Thursday, November 4, 2021

7:00 PM

Virtual Meeting

A. CALL TO ORDER/ROLL CALL

B. ADOPTION OF FORMAL AGENDA

C. APPROVAL OF MINUTES

1. Approval of Minutes from the Planning Commission meeting on October 7, 2021

D. COMMUNICATIONS AND ANNOUNCEMENTS

E. PUBLIC HEARINGS

1. P.C. #2021.17: 1919 Stearns Avenue. Heirloom Arts, LLC is requesting approval of a special use permit to authorize the placement of the tattoo shop and art gallery in a building located in the RM-15 District.

F. DISCUSSION/ACTION ITEMS

G. REPORTS

1. P.C. #2021.16: 4502 Campus Drive. Site Plan Review for Kalexsyn Inc. Building Addition.
2. City Planner's Report
3. Site Plan Review - Update
4. Kalamazoo Sustainability Strategies
5. Site Plan Spreadsheet- 2021

H. PUBLIC COMMENTS

I. CITY COMMISSION LIASON COMMENTS

J. PLANNING COMMISSIONER COMMENTS

K. ADJOURNMENT

City of Kalamazoo
PLANNING COMMISSION
Meeting Minutes
October 7, 2021
DRAFT

This meeting is being conducted electronically pursuant to the Open Meetings Act MCL 15.263 (2) and MCL 15.263a 1(b).

Members Present: Gregory Milliken, Chair; Sakhi Vyas, Vice Chair; David Burgess; Mariah Phelps; Michael Harrison; Shardae Chambers; Brian Pittelko

Members Excused: Jennifer Swan; James Pitts

City Staff: Christina Anderson, City Planner; Pete Eldridge, Assistant City Planner; Beth Cheeseman, Executive Administrative Assistant; Chris Praedel, City Commissioner; Charles Bear, Assistant Attorney

Public Present: Jacob Tardani, Emily Agnello, Deon McKinley

A. CALL TO ORDER/ROLL CALL

Commissioner Milliken called the meeting to order at 7:00 p.m.

Planner Anderson proceeded with roll call and determined that the aforementioned members were present.

B. ADOPTION OF FORMAL AGENDA

Commissioner Vyas, seconded by Commissioner Chambers, moved approval of the October 7, 2021 Planning Commission agenda as presented. With a voice vote, the motion carried unanimously.

C. APPROVAL OF MINUTES

Commissioner Burgess, seconded by Commissioner Phelps, moved approval of the August 9, 2021 minutes as presented. With a voice vote, the motion carried unanimously.

D. COMMUNICATIONS AND ANNOUNCEMENTS

Commissioner Milliken shared the process for people to leave public comment.

E. PUBLIC HEARINGS

1. P.C. #2021.13: 3105 Winchell Avenue. Emily Agnello is requesting approval of a special use permit for a group daycare (7 to 12 children).

Planner Eldridge gave the staff presentation. The request is for an existing daycare to expand to a group daycare. He stated that the daycare has been in operation since earlier this year as a home daycare for 1-6 children. The property is roughly 1/3 acre. The house is just under 2,000 sq ft. with a two-stall attached

garage. The driveway is approximately 50' in length and is two lanes wide. Planner Eldridge said that the whole area is in the single-dwelling zone district with single family homes around the subject property. He said home daycares can step up to a group daycare if they meet the requirements of the ordinance. Planner Eldridge stated that the request aligns with the Future Land Use map (R-1 Residential). Daycares are permitted in this low intensity residential zone. He said that group daycares are permitted if they meet regulations of play area size and if they are not out of character with the neighborhood. One requirement for a group daycare is that it needs to be located along a collector or arterial street. The property at 3105 Winchell Avenue is located on a local street. Ms. Agnello has applied for a variance which will be heard at the ZBA meeting next week. If the Planning Commissioners approve this Special Use Permit, approval would be contingent upon the variance being granted. Planner Eldridge stated that the request aligns with the Strategic Vision by providing a needed neighborhood service. It is part of Complete Neighborhoods to have daycare locations in the vicinity of residential areas. He announced that the City sent notices to property owners and placed a notice in the Gazette. Ms. Agnello sent letters to her surrounding neighbors. She received five correspondence of support – three from immediate neighbors and two others who live in the vicinity of Winchell. Planner Eldridge stated that the request meets Special Use Permit criteria. The daycare and hours of operation are very normalized – open M-F from 8-5. The daycare won't be open in the summer when school is closed. No changes are proposed to the exterior of the structure. The back yard is fenced and there is mature vegetation around the property. The road capacity is sufficient for emergency vehicles. Planner Eldridge explained that Winchell Avenue has two segments. Oakland to Rambling is classified as a collector street and group daycares would meet requirements in that location. Ms. Agnello's house is 800 feet west of Rambling which places it outside of that collector classification and puts it in a portion of Winchell which is considered a local street. Staff recommendation is for approval of the Special Use Permit for the group daycare with a condition of the approval of the variance from the ZBA.

Ms. Emily Agnello, applicant, shared that she is currently a provider for up to 6 children. Before this she was a pre-school teacher in Kalamazoo, but the school closed due to Covid. Her Licensing Consultant urged her to offer care for up to 12 kids. She stated that there is a need for childcare right now with some people waiting up to two years to get a spot. Ms. Agnello hopes to help the community and provide that service. She stated that approximately 50% of her families are from Winchell.

Commissioner Phelps said she thinks the proposal fits the need of the community very well. She wondered if there would be increased traffic issues due to traditional school start and stop times. Ms. Agnello found most parents drop off between 7:15-8:00am. She said that doesn't interfere with elementary drop-off because they start at 8:50am. She usually only has one to two parents at a time dropping off. Afternoon pickup varies between 3:30-5:00pm. Ms. Agnello said her stretch of Winchell is busy. She doesn't see a lot of added traffic compared to what is there currently. In response to a question from Planner Eldridge, Ms. Agnello shared that one family walks over to drop-off of their children and one family bikes over. That helps with traffic.

Commissioner Milliken opened the public comment portion of the hearing.

No public comments.

Commissioner Milliken reminded them of several letters of support for this item.

Commissioner Vyas, seconded by Commissioner Burgess, moved to approve a Special Use Permit for a group daycare at 3105 Winchell Avenue conditioned upon approval of a variance regarding street classification.

Commissioner Vyas agreed that the situation with childcare is dire right now. She felt that a professional taking on the responsibility of more children to support families is generous. Commissioner Vyas expressed her support of this request.

Commissioner Milliken agreed with the staff report regarding their recommendation, and he said that included compliance with zoning ordinance standards. He was pleased and impressed by the letters of support by neighbors – especially for a use that can have an impact on neighbors with the increased intensity. In terms of the variance, while Commissioner Milliken agreed with the classification of the road and the standards, he felt this is a unique situation. Winchell is a local street in that area, but it functions much differently than typical considering the density of housing units at the end of road and traffic that moves along it. He could see a variance as well-justified.

A roll call vote was taken and passed unanimously.

2. P.C. #2021.14: 1011, 1017, 1029 Denner Street/1405 Alamo Avenue. Request to rezone from Residential – Single Dwelling District (RS-5) to Residential – Duplex District (RD-19).

Planner Eldridge shared the staff report. He mentioned that the lots are of a substantial size. The applicant, Mr. Jake Tardani, owns three out of the four properties. Mr. Hernandez owns the fourth property, and he is participating on the rezoning. Planner Eldridge reviewed the properties: 1405 Alamo is set up as a three-unit rental; 1029 Denner is laid out as a duplex but can only be used as a single-family home; 1017 Denner is owned by Mr. Hernandez; 1011 Denner is laid out as a duplex, but also lost its legal non-conforming status. Mr. Eldridge noted the depth of the lots and the trees. He said some of the properties are in the NFP overlay due to woodlands and slopes. There are no NFP implications due to rezoning. Planner Eldridge explained that the proposal is to expand the Residential Duplex Zoning across to the west side of Denner with these four properties. He said the request is in alignment with the Future Land Use map which is shown as R-2. This is a medium density residential classification which allows duplexes. The rezoning touches on Complete Neighborhoods in the Strategic Vision because it will allow for additional housing units. In this case, the housing units are already there, it is just not legal to use them as duplexes. Planner Eldridge stated that Mr. Tardani reached out to surrounding property owners. He received one letter of support. City staff sent letters out and put a notice in the Gazette. Planner Eldridge reviewed other evaluation criteria. He stated that there was a point in which these properties were utilized as multi-dwelling units, but usage over the years hasn't aligned with zoning. The Future Land Use map shows the density is appropriate for this area. There is a demonstrated community need of additional housing units. Planner Eldridge stated that this would be compatible with adjacent properties. He noted they are large lots, and he didn't think a few additional vehicles on the properties would be noticeable to the neighbors. He doesn't anticipate conflicts with adjacent properties. Planner Eldridge said it is just a modest increase in density - not that much of a variation in number of dwelling units. Staff recommendation is to recommend approval of the rezoning request to the City Commission.

Commissioner Phelps asked if the dwelling with three units would have to go down to two units if the rezoning was approved. Planner Eldridge said it would remain legal non-conforming and would be allowed to continue to operate. However, if it is somehow damaged more than 50%, then it could be rebuilt as a duplex. He shared that there is a higher unrelated adult occupancy standard for the RD-19 zone district. It allows for a maximum of four unrelated adults.

Mr. Jake Tardani, applicant, said his goal is to help create more rental units within the City. He shared that he lived on Denner when he was a student, so it is close to his heart. Mr. Tardani said he wanted to touch on three basic points. He believes in the core vision of providing housing and respecting his tenants and

the neighbors. He said a lot of neighbors he talked to were on board with this request. Some expressed concerns about poorly managed rentals in town – especially nearby. Mr. Tardani said that is the opposite of what he does in his company and family. He has purchased 26 properties. This is his passion - to restore old, sad, abandoned houses and to help people. He said two houses were bought as duplexes, but their certifications lapsed. This request is to get approval to rezone the properties to run them as duplexes. Odyssey Properties has a CDBG grant through City of Kalamazoo for affordable housing. He expects that to grow and blossom. He is developing two properties on Denner and he owns 4 of the 6 properties across the street. Mr. Tardani said he has tentative contracts to buy two more – then he will own from corner. Mr. Tardani welcomed Planning Commissioners to drive through the neighborhood and tour them. He hopes they get approved.

Commissioner Milliken opened public comment portion of the public hearing.

Anonymous caller: She said she called to oppose the rezoning on Denner. She noted that the individual owns 23 properties with many of them in disrepair. The caller stated that many do not have easy accessibility to anyone who needs assistance. She didn't feel that RD-19 zoning would be conducive to the safety of the existing neighborhood. The existing neighborhood has non-owner occupied housing and has crime, drug dealing, animal abuse, trash, and screaming in the night. The caller stated interest in having the applicant offer these units as rent to own so generational wealth is transferred instead of it being a slum lord in training exercise. She noted that the owner of the properties lives across the street from an elementary school and that may be a better location for multi-units for safety and accessibility for utilities and public services. The caller noted that Fox Ridge around corner is a high-crime area. She felt that since the City had already given money to this individual, then it was a done deal. She said that many neighbors who own houses are not interested in this. The caller expressed a desire for the Planning Commission to begin in-person meetings for public accessibility.

Commissioner Harrison asked for more information about RD-19 zoning being conducive to a neighborhood. Planner Eldridge stated that the RD-19 zone district allows for cluster housing development. He said that once parking, stormwater detention, and landscaping is included on a property, you don't end up with the maximum number of dwelling units allowed. An acre of land in the RD-19 zone district could hold up to 29 dwelling units per the ordinance in a cluster development set up, but this is impractical with all the other site development requirements. Planner Eldridge stated they can't add a big grouping of units unless it is on a large parcel of property and there aren't many of those in the City. He explained that these parcels on Denner and Alamo are individual parcels that don't have a lot of frontage. Just because an area is rezoned to RD-19, doesn't mean there will be a maximum number of dwelling units allowed there. Only certain circumstances allow for cluster housing to occur.

Commissioner Phelps, seconded by Commissioner Pittelko, moved to recommend to the City Commission to approve rezoning of 1011, 1017, 1029 Denner Street/1405 Alamo Avenue from Residential – Single Dwelling District (RS-5) to Residential – Duplex District (RD-19).

Commissioner Phelps said the staff put together a great recommendation. She is familiar with area. The fact that the properties were already set up as multi-unit residences, indicated that was the intent when they were built. She felt this can serve the community in the future. She is happy to see Mr. Tardani have a vested interest in the community as opposed to a large development company coming through and plowing these over.

Commissioner Pittelko agree that the report was very helpful. He said they are currently in need of housing of every type in the City. These types are very necessary as well. Commissioner Pittelko said he will be supporting the motion.

Commissioner Harrison was mindful of the community input. He expressed a desire for staff, developers, and the Planning Commission to work with the community, make sure residents are heard, and that business owners are successful as a collaborative process.

Commissioner Milliken said the request is compliant with the Future Land Use map and standards of the zoning ordinance. He said he puts stock in the fact that the City vetted this request in granting the funds given previously. The units very easily could have been utilized as duplexes without making the request. Commissioner Milliken appreciated the efforts of going through and following the steps.

Mr. Tardani stated that he hears the concerns of the community and takes them seriously.

A roll call vote was taken and passed unanimously.

3. P.C. 2021-15: 717 Riverview Drive. Deon McKinley is requesting a special use permit to expand an existing auto sales business, which is located in the Commercial - Mixed Used District.

Planner Eldridge presented the staff report. He shared that the request is for an expansion project within the confines of the existing dealership parcel. Mr. McKinley also owns the vacant lot to the south of the site, but he is not doing anything with it at this time. Planner Eldridge reviewed information about the 717 Riverview Parcel. The vehicle display area is out front and the office on site is 480 sq ft. Mr. McKinley has proposed a new 2,400 sq ft building positioned where the office trailer is now. Planner Eldridge shared that the area is a mix of commercial and residential on a high traffic transient corridor leading into downtown. He said this area is part of the Riverfront Overlay - Commercial Mixed-Use Subarea 6. This allows for a variety of commercial uses, but it doesn't promote new businesses for auto sales. Existing auto sales are a conforming use, but expansions of those businesses require a Special Use Permit. Planner Eldridge noted there are a number of auto-oriented businesses on this part of Riverview Drive. The Future Land Use map identifies Riverview Drive as commercial. Planner Eldridge stated that MVP Auto Sales has been on the site since 2002. This is an opportunity to see a local business grow within the City limits. That is an element of the Economic Vitality goal of the Strategic Plan. It is also a focus of the Eastside Neighborhood Plan to redevelop and sustain businesses in place along the Riverview Drive corridor. The applicant reached out to the Eastside Neighborhood Association and they provided a letter of support. City staff sent letters and posted a notice in the Gazette. Mr. McKinley talked to a number of business owners in the area. Planner Eldridge said that the request is compatible with area businesses. As far as compliance with standards in ordinance, there is paved parking for all motor vehicles. He stated that this project will require site plan review. The new building will allow for vehicle prep in the building instead of outside as Mr. McKinley has done for years. There is adequate access for emergency vehicles and ingress and egress. Planner Eldridge said that staff recommendation is to approve the Special Use Permit.

Mr. McKinley, applicant, said he is trying to enhance the neighborhood with the new building. This will enable him to employ 3-4 more people. He is trying to move to the next level of business.

Commissioner Milliken, Mr. McKinley and Planner Eldridge clarified the positioning of the building and how much bigger the building will be than the existing trailer.

Commissioner Milliken opened the public comment portion of the hearing.

No public comments.

Commissioner Milliken reminded them that they received one email.
Commissioner Milliken closed the public comment portion of the hearing.

Commissioner Burgess, seconded by Commissioner Chambers, moved to approve a Special Use Permit to expand an existing auto sales business, which is located in the Commercial - Mixed Used District.

Commissioner Burgess commented positively on the expansion, saying it will be a welcome addition to the neighborhood. It was wonderful to see the improvement.

Commissioner Chambers thought it would be nice to see the expansion, to use the rest of the space. She thought it makes sense for his business growth and it falls in line with City goals. Commissioner Chambers was happy to see the Neighborhood Association's support as well.

Commissioner Phelps said it was nice to see someone local trying to improve the community and sticking around. She congratulated him on being in a position to grow.

Commissioner Pittelko hoped that Mr. McKinley will be able to expand and get his hands on some inventory. It is hard for car dealers right now. He shared that he is glad Mr. McKinley is able to expand his business and he wished him success.

Commissioner Milliken stated that the request complies with standards for a special use in the zoning ordinance. He said it is unique because of the overlay.

A roll call vote was taken and passed unanimously.

F. DISCUSSION/ACTION ITEMS:

None.

G. REPORT:

Mr. Charlie Bear, Assistant Attorney, will be attending future meetings on behalf of the City Attorney's office. He began working for the City Attorney's office this past April, and he will be working with Zoning and Planning among other duties with City. Mr. Bear shared that he has some background in the area and he is looking forward to working with them.

1. City Planner's Report

Planner Anderson introduced some updates they are starting with the zoning code. She said that over the next 6 months or so, they will be working on engaging and presenting updates to commercial zoning. This will include commercial zoning and overlay districts, signs, and general development standards.

Chapter 6 includes landscaping, open space, screening, fencing, and lighting. Planner Anderson said they will review these sections and update them based on variances they've received. Design Standards will be updated based on existing form-based districts. She said that Design Standards will probably be broken up and tied to specific districts. Planner Anderson said that the Operational Performance Standards (noise, odors, etc.) will be updated to reflect current state and federal laws.

Planner Anderson stated that the Sign code was updated to make sure it was compliant with the most recent judicial rules (specifically Reed case). Updates include where pedestrian-oriented signs are permitted; updated to reflect new zoning districts; clarified new types of signs and any variances; clarified language and adding illustrations as necessary. She said the Sign code is available online at imaginekalamazoo.com/projects/signs. Planner Anderson mentioned they will also update two sections in the municipal code regarding sign construction in the building code and posting posters and playbills on public spaces. Those sections will go forward to the City Commission along with the zoning pieces. She said they have done outreach to the business community a couple times this summer. They also reached out to the sign companies. It is out for public review.

Planner Anderson said they will also be updating commercial districts. It was last updated in 2005. They will be updating the text of the zoning code. She said there are many commercial districts and some of them are not mapped, some have been replaced, and some have a very narrow focus. They will also be reviewing the overlays. Planner Anderson said they will do a map amendment as well. She said they need to make sure they look at neighborhood corridors vs large/auto-dominated corridors. They will be mindful of street types, land use, and transportation so they work together and not against each other.

Planner Anderson said they do not have a public participation plan yet for this work. They will be back in November or December with an update. She shared they have a consultant working with them. They want what works to support commercial development in the City. Planner Anderson shared that she has been going lot by lot to understand the districts, where they are, their character, and the standards.

Commissioner Milliken asked what Planning Commissioners can do for this process. Planner Anderson asked them to follow along with whatever meetings they have and to follow imaginekalamazoo.com. She said her goal is to have it before them before March and new members. Planner Anderson said that come March and April they will start working on residential zoning. When next year ends, it will be time for the next Master Plan. She let them know they will hear the Sustainability Strategy and more information on the site plan review policy at the next meeting. She encouraged Planning Commissioners to review traffic projects on the Imagine Kalamazoo website.

2. Site Plan Spreadsheet

No comments.

H. CITIZENS' COMMENTS (Regarding non-agenda items)

No public comments at this time.

I. CITY COMMISSION LIAISON COMMENTS

City Commissioner Praedel reported that the 333 Alcott rezoning was passed at City Commission. He said they had a couple residents inquire about accessing documents related to boards and commissions. Commissioner Praedel explained how to get to the following link: <https://www.kalamazoocity.org/boarddocs/planning-commission>. He also explained that in the future minutes from March 2021 will be published on Civic Clerk at <https://kalamazoomi.civicclerk.com/web/home.aspx>. He stated that the previous draft of minutes could be found in the meeting packets which are posted. To access notices <https://kalamazoocity.org/notices>. Recordings are available on the City of Kalamazoo YouTube channel. Commissioner Praedel informed Planning Commissioners that absentee ballots are now available for municipal election on November 2. There are four seats vacated on the City Commission. He said that three seats are four-year terms, but the fourth seat is a two-year term. Commissioner Praedel mentioned that it will include the election for Mayor and the Kalamazoo County Transit Authority has a renewal on the ballot. People can request absentee ballots by October 25 by 5:00pm. They can also get an absentee ballot in person at the Clerk's office up to 4:00pm on November 1. He pointed out that there are drop boxes around the City. Commissioner Praedel suggested they check out Vote411.org and click on Find What's on my Ballot tab. He said they can see candidates side by side to compare and contrast. Commissioner Praedel said that people can go to imaginekalamazoo.com for the Sustainability Plan and can comment on the strategy and sign up for updates. He also shared that he attended the EGLE presentation on Graphics Packaging. He said that people can go to [michigan.gov/EGLE/Graphic Packaging](http://michigan.gov/EGLE/Graphic%20Packaging) to access that report.

Commissioner Milliken thanked him for sharing what happens to the items they pass along to the City Commission.

J. MISCELLANEOUS COMMENTS BY PLANNING COMMISSIONERS

Commissioner Chambers encouraged all to vote in November. They will have new Commissioners and they need to work together. She reported that the Kalamazoo County website is taking suggestions for what to use the American Rescue dollars. Commissioner Chambers shared that this could have a huge impact in the community.

Commissioner Harrison stated that he thinks community engagement looks/feels differently in a Covid world. He encouraged everyone to think about what access to residents and developers looks like and what community participation looks like.

Commissioner Milliken stated he thinks meetings should be all virtual or all in-person. He doesn't think hybrid would work well for engagement.

K. ADJOURNMENT

Commissioner Milliken adjourned the meeting at 8:44 pm.



Planning Commission Staff Report

Date: **11/4/2021**

Item: **E.1.**

City of Kalamazoo

TO: City of Kalamazoo Planning Commission

FROM: Reviewed by: Christina Anderson, AICP, City Planner
Prepared by: Pete Eldridge, AICP, Assistant City Planner

DATE: November 4, 2021

SUBJECT: P.C. #2021.17: 1919 Stearns Avenue. Heirloom Arts, LLC is requesting approval of a special use permit to authorize the placement of the tattoo shop and art gallery in a building located in the RM-15 District.

BACKGROUND:

The building at 1919 Stearns was originally constructed as a house, but was converted to office use and occupied by the Boys Scouts until around 2013. Since then, the building has been utilized for counseling services and a yoga studio. The yoga studio currently occupies the lower level of the building and will remain in this space. The site has approximately 22 off-street parking spaces, which is sufficient for both the existing yoga studio and the proposed business.

To the east of this site is a small, multi-tenant office building and the YMCA of Greater Kalamazoo. To the northeast is the Maple Street Magnet School (KPS) and further east on Maple is the Kalamazoo Free Methodist Church. There are residences directly adjacent to the north and south and across Stearns. The Zoning Ordinance allows for offices and service-based businesses in the RM-15 District with a special use permit; prior to 2005 the Zoning Ordinance allowed them as a permitted use.

The proposed new use, Heirloom Arts was started in 2018. It is currently located in the Vine Neighborhood Commercial Node at 505 W. Vine Street. The tattoo shop and art gallery has been located here for approximately two years. Prior to that, the business was on Gull Road. Heirloom Arts, LLC has been looking for a larger location for their business which would provide separate rooms for the tattoo artists as well as a larger space for displaying local artwork by artists in the community and the artists on staff. The current leased space is around 700 square feet and the new space is 2,300 square feet (upper floor of 1919 Stearns Avenue).

STRATEGIC VISION ALIGNMENT:



Economic Vitality - A supportive infrastructure for growing businesses and stabilizing the local economy for the benefit of all.

Strategic Goal and Master Plan 2025 Alignment:

This business does align with the Strategic Goal of Economic Vitality with a goal to help support the growth of local businesses.

The Master Plan 2025 Future Land Use Map designates the subject property as R-2, Residential – Medium Density. This designation supports the residential use types in the neighborhood and other land uses identified as special uses that have been deemed permissible in residential areas with approval by the Planning Commission.

COMMUNITY ENGAGEMENT:

Inform – the community will be made aware of the project.

Public Hearing Notices:

Notice of the public hearing was published in the Kalamazoo Gazette and notices sent to all property owners within 300 feet on October 20, 2021.

Depth of Engagement:

The applicant plans to go door to door to hand out information about their business to surrounding property owners. This property is in the Westnedge Hill neighborhood, which does not have an organized neighborhood association.

Engagement/Communication Tools:

Notice published in newspapers, public hearing notices sent to surrounding property owners within 300 feet and the applicant going door to door.

FINDINGS:

The Planning Commission's role is to approve or disapprove special use permit requests based on the following criteria from Chapter 8 of the Zoning Ordinance. The staff's opinion of the level of conformance of the project with the criteria is provided in the bold text.

1. That the proposed special use is appropriate for its proposed location and compatible with the character of surrounding land uses and the uses permitted in the zone district(s) of surrounding lands.

The building has been utilized in the past by Boys Scouts of America for retail space and offices, counseling services and as a yoga studio. The square footage and layout of the floorspace accommodates the proposed use with little interior alterations. The

building has barrier free entrances for both the lower and upper floors. The site has approximately 22 paved parking spaces.

2. That the proposed special use complies with § 4.2: Use Standards of the Zoning Ordinance.

The Zoning Ordinance allows for retail sales and service uses to be considered as a special use for buildings in the RM-15 District that are 50 years or older, contain more than 3,500 square feet of building area, and where sales are limited to finished pieces of art or crafts. The building meets the age and square footage requirements. The applicants' business will include the tattoo shop and sales of finished pieces of art.

3. That the location and design of the proposed minimizes adverse effects, including visual impact of the proposed use on adjacent lands by: 1) avoiding significant adverse impact on surrounding lands regarding service delivery, parking and loading, odors, noise, glare, and vibration, and does not create a nuisance; 2) retaining, to the greatest extent possible, the natural features of the landscape where they provide a barrier or buffer between the proposed special use and adjoining lands; 3) locating buildings, structures, and entryways to minimize impact; 4) providing appropriate screening, fencing, landscaping, and setbacks.

The proposed use of the building will not adversely impact the surrounding properties because all business activity will occur within the building and there are no exterior changes proposed to the building or site. Tattoo art work is done by appointment only, limiting customer traffic. The natural features on the site that currently exist will remain.

4. That the proposed special use minimizes environmental impacts, and conforms to all relevant environmental protection standards of this Ordinance, or any other state or federal laws.

All business activity will be conducted inside the building. Tattoo shops are licensed and regulated by the State of Michigan. There are no anticipated environmental impacts.

5. That there is adequate road capacity available to serve the proposed special use.

There is adequate road capacity for commercial use of 1919 Stearns Avenue. Further, the parking lot is connected with the office building to the east, providing access to Maple Street in addition to access off of Stearns Avenue.

6. That the proposed special use is designed to ensure safe ingress and egress onto the site and safe road conditions around the site.

Ingress and egress already exist directly off of Stearns Avenue.

7. That there are adequate potable water, wastewater, solid waste, park, police, and fire/EMS facilities to serve the proposed special use.

The building is connected to city water and sewer and there is adequate space on the site to construct a dumpster enclosure if needed.

8. That the proposed special use is located and designed so that adequate access to the site is provided for fire, police, and EMS services.

There is adequate access for emergency vehicles to reach this site.

9. That the proposed special use complies with the appropriate standards in Chapter 6: General Development Standards.

The site has adequate off-street parking. The required landscaping will be looked at during the site plan review process.

10. The proposed special use complies with all standards imposed on it by all other applicable provisions of this Ordinance for use, layout, and general development characteristics.

The proposed special use does comply with the requirements of the ordinance to operate this business in the building. The exterior site elements will be looked at during a site plan review.

RECOMMENDATION:

The planning staff recommends approval of the special use permit for the tattoo shop and art gallery.



Community Planning & Economic Development

245 N. Rose Street, Suite 100 • Kalamazoo, MI 49007

(269) 337-8026 • www.kalamazoocity.org

PLANNING COMMISSION APPLICATION

APPLICANT INFORMATION			
Name: Alicia Mae Risk		Mailing Address: 306 Woodward Avenue Apt 1	
City: Kalamazoo		State: MI	ZIP Code: 49007
Phone: 269-910-9101	Email: heirloomartskzoo@gmail.com	Preferred Contact: ☒ Email ☐ Phone	
PROPERTY OWNER INFORMATION			
<i>If the applicant is not the property owner, owner must sign application or provide a letter stating that owner gives consent for the application to be filed.</i>			
Name: Bangka Properties, LLC, c/o Andi Budiwarman		Mailing Address: 1919 Stearns Avenue	
City: Kalamazoo		State: MI	ZIP Code: 49008
Phone: 269-598-3385	Email:	Preferred Contact: ☐ Email ☒ Phone	
PROPERTY INFORMATION			
Property Address(s): 1919 Stearns Avenue, Kalamazoo, MI, 49008			
Parcel Identification Number(s): 06-28-215-003		Zone District (kalamazoocity.org/maps): RM-15	
TYPE OF REQUEST			
☒ Rezoning ☐ Text Amendment (Chapter(s) _____, Section(s) _____) ☐ Special Use Permit		☐ Planned Unit Development (PUD) ☐ Preliminary Subdivision ☐ Right of Way Vacation	
Description: Currently, 1919 Stearns is coded for residential, and we need it to be coded for commercial			
ATTACHMENTS			
☐ \$ 375 Fee		☐ Completed Review Sheet	
☒ Other documents or engagement information <i>Note: 10 days before meeting provide update on outreach to neighbors or provide any letters of support</i>			
SIGNATURE			
Signature of Applicant: <i>Alicia Mae Risk</i>		Date: <i>10/9/21</i>	
Signature of Owner (if different than applicant): <i>Andi Budiwarman</i>		Date: 10/11/2021 2:59:50 PM EDT	

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PLANNING COMMISSION

SPECIAL USE PERMIT REVIEW SHEET

Please describe use which requires a special use permit: (may also provide on a separate sheet):

Review Criteria for Special Use Permit

The Planning Commission will use the following criteria to review Special Use Permits. Please reach out to staff if you have any questions.

Will the proposed special use be appropriate for this location and compatible with the character of surrounding land uses and the uses permitted in the zone districts?

Does the proposed special use comply with the Use Standards of Chapter 4 and Chapter 50 for this land use?

Will the location and design of the special use reduce any negative impacts on surrounding lands with regard to: visual impact, parking and loading, odors, noise, glare, and vibration?

Does the location and design of the special use reduce undesirable effects, including visual impact of the proposed use on adjacent property by retaining some natural features of the landscape to provide a buffer between the special use and adjoining lands?

Does the location and design of the special use reduce adverse effects, including visual impact of the proposed use on adjacent property by locating buildings, structures, and entryways to reduce impact?

Does the location and design of the special use reduce adverse effects, including visual impact of the proposed use on adjacent property by providing appropriate screening, fencing, landscaping, and setbacks?

Will the proposed special use reduce environmental impacts, and conform to all environmental protection standards of this Ordinance, or any other state or federal laws?

Will there be adequate road capacity available to serve the proposed special use?

Will the proposed special use be designed to ensure safe ingress and egress onto the site and safe road conditions around the site?

Will there be adequate potable water, wastewater, solid waste, park, police, and fire/EMS facilities to serve the proposed special use?

Will the proposed special use be located and designed so that adequate access onto the site is provided for fire, police, and EMS services?

Does the proposed special use meet the appropriate standards in Chapter 6: General Development Standards?

Does the proposed special use meet all standards imposed on it by all other sections of this Ordinance for use, layout, and general development characteristics?



At [Heirloom Arts](#) we strive to provide professional, original tattoos, in a clean environment by non-binary artists and women. We uphold a high standard for quality design combining creativity and compassion.

Since the end of 2019, we have been expanding rapidly as a team; this means we need a new space to continue creating quality tattoos in a safe, comfortable environment.

We love Kalamazoo; as a small local business we aim to support our community, clientele, and other artists. We intend to use this space as a tattoo studio and a professional art gallery, featuring local artists each month, as well as hosting ArtHop events. We also plan to host public art workshops like painting, and drawing.

We feel that this new space at 1919 Stearns Ave., is a perfect match for our wants and needs.

We fully support the LGBT+ and BIPOC communities, these voices are integral to our business and our community.

We are always available for questions at heirloomartskzoo@gmail.com , and you can check out our business' website at heirloomartslc.com. There, you will find information about our staff, our artist's work, and much more!





P. C. #2021.17 - 1919 Stearns Avenue
Special Use Permit
Tattoo Shop and Art Gallery in RM-15 District

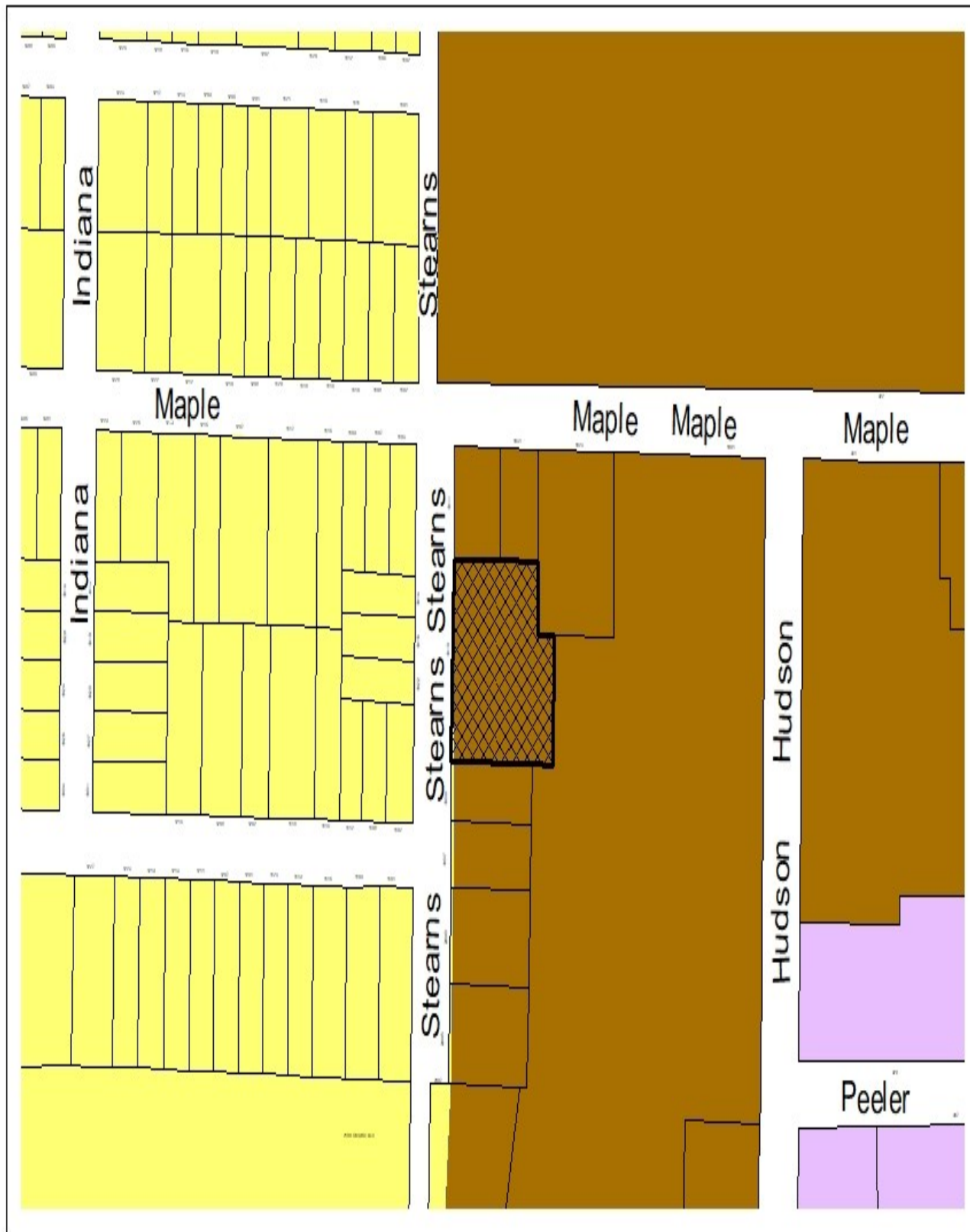


P. C. #2021.17 - 1919 Stearns Avenue
Special Use Permit
Tattoo Shop and Art Gallery in RM-15 District

0 75 150 300 Feet



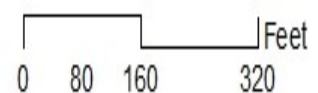
P. C. #2021.17 - 1919 Stearns Avenue
Special Use Permit
Tattoo Shop and Art Gallery in RM-15 District



**Current
Zoning**

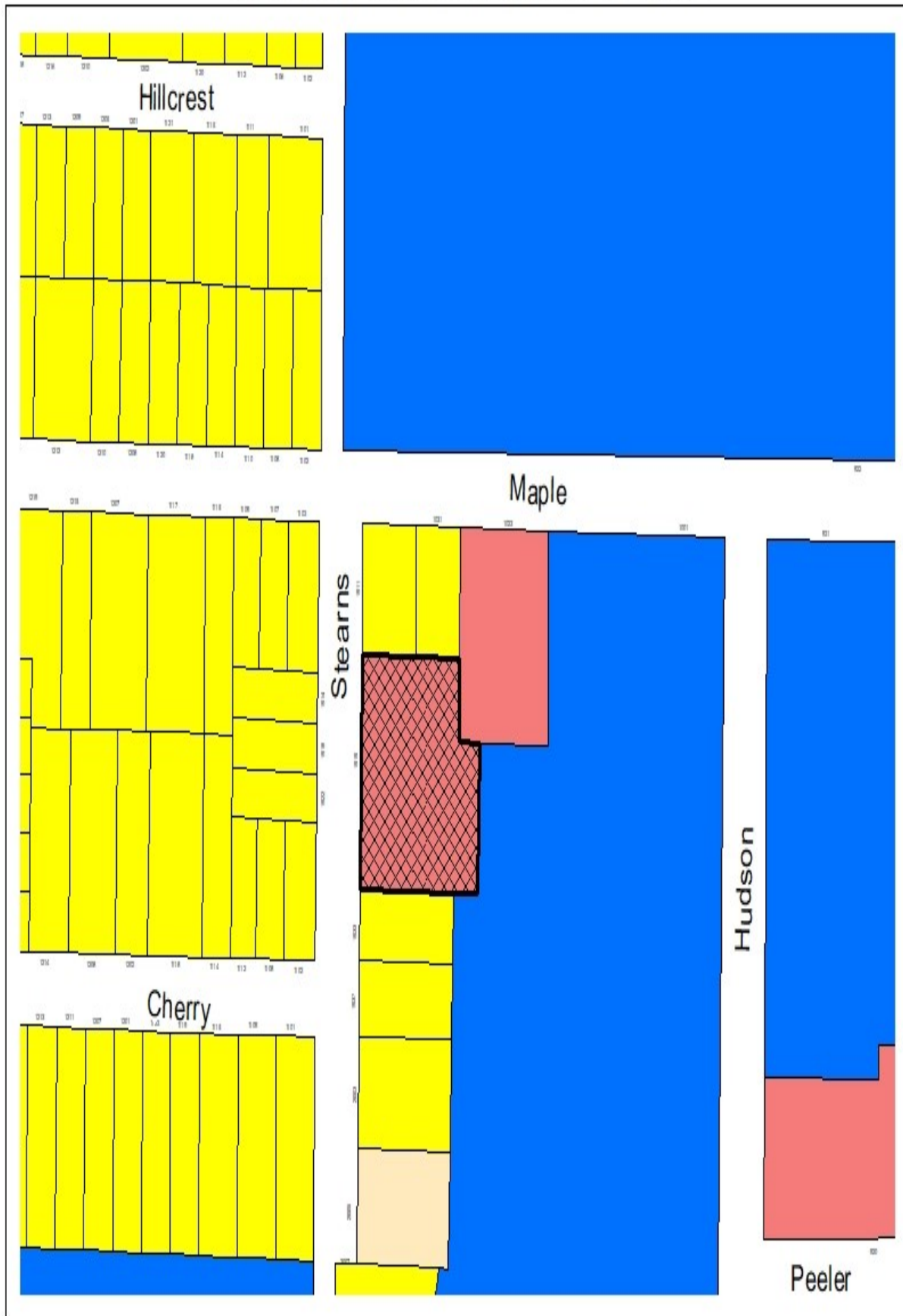


P. C. #2021.17 - 1919 Stearns Avenue
Special Use Permit
Tattoo Shop and Art Gallery in RM-15 District



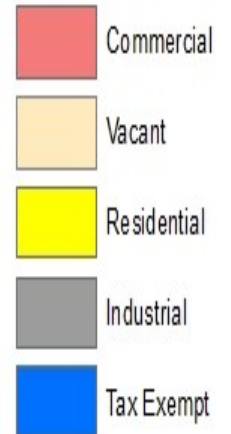
P. C. #2021.17 - 1919 Stearns Avenue
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Tattoo Shop and Art Gallery in RM-15 District

EXISTING LAND USE



Land Use

propclass

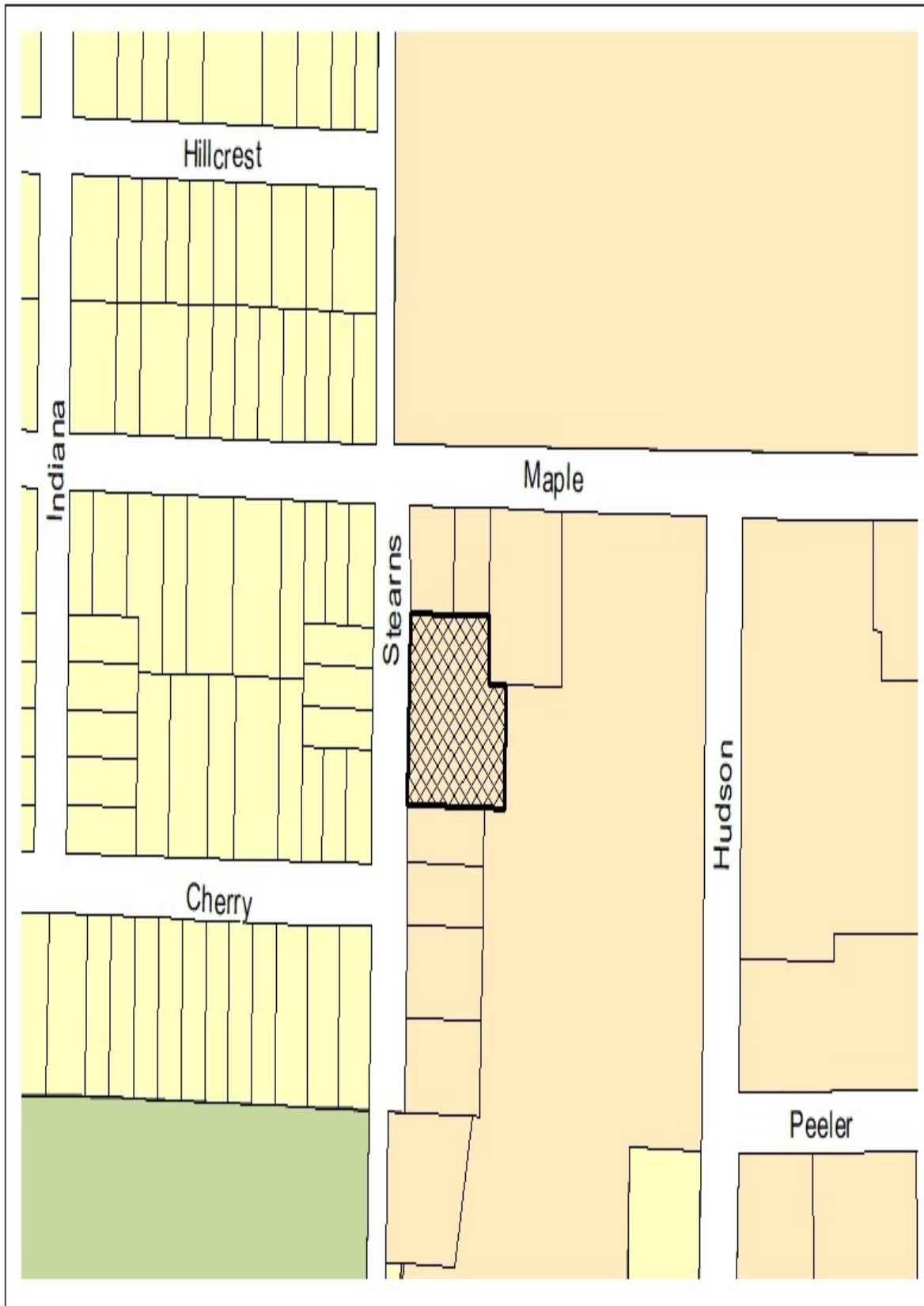


P. C. #2021.17 - 1919 Stearns Avenue
Special Use Permit
Tattoo Shop and Art Gallery in RM-15 District

0 120 240 480 Feet



P. C. #2021.17 - 1919 Stearns Avenue
Special Use Permit
Tattoo Shop and Art Gallery in RM-15 District



**FUTURE
LAND USE**

-  Open Space/Parks
-  R1-Residential
-  R2-Residential



0 120 240 480 Feet

P. C. #2021.17 - 1919 Stearns Avenue
Special Use Permit
Tattoo Shop and Art Gallery in RM-15 District





Planning Commission Staff Report

Date: **11/4/2021**

Item: **G.1.**

City of Kalamazoo

TO: City of Kalamazoo Planning Commission

FROM: Reviewed by: Christina Anderson, AICP, City Planner
Prepared by: Pete Eldridge, AICP, Assistant City Planner

DATE: November 4, 2021

SUBJECT: P.C. #2021.16: 4502 Campus Drive. Site Plan Review for Kalexsyn Inc. Building Addition.

BACKGROUND:

The Kalexsyn Inc. facility, constructed in 2007, is 19,900 square feet in area on three acres in the WMU Business Technology and Research Park. The company plans to construct a 2,040 square feet addition on the northwest corner of the existing building. This floor area will serve as additional lab space, offices, and storage. There will also be a small shipping/receiving area.

The Commercial, Business Technology and Research District (CBTR), was established to provide a high-quality working environment for research and development institutions, offices and specialized production and assembly uses. The Zoning Ordinance requires that the Planning Commission review all site plans within the CBTR District. This review by the Planning Commission is in addition to the staff-led Site Plan Review process. This project has been reviewed through the pre-application process (step 1) for Site Plan Review. The findings from the pre-application review are below. After this board's review and making plan edits based on the findings from the pre-application meeting, the project will go for Site Plan Review approval. In addition, WMU BTR Park has its own design review committee which will also be looking at this building project.

STRATEGIC VISION ALIGNMENT:



Economic Vitality - A supportive infrastructure for growing businesses and stabilizing the local economy for the benefit of all.

Strategic Goal and Master Plan 2025 Alignment:

This project aligns with the Strategic Plan Goal of Economic Vitality by supporting the expansion of local businesses in our community.

The Future Land Use Map of the 2025 Master Plan identifies this site as being in a campus

designation which allows the assembly of multiple uses in a large, coordinated site development. The expansion of entities like Kalexsyn Inc. in the BTR Park is a sign of the success of this development.

COMMUNITY ENGAGEMENT:

Inform (one-way conversation) – the community will be made aware of the project.

Depth of Engagement:

This review does not require a public hearing. The notice was posted in the Kalamazoo Gazette.

Engagement/Communication Tools:

Kalamazoo Gazette notice

FINDINGS:

A pre-application site plan review meeting was held on October 27th. Rockford Construction and Driesenga Engineering provided an overview of the project to the Site Plan Review committee. It was noted that Kalexsyn Inc. does not plan to hire any new employees and therefore no additional off-street parking is planned. The proposed addition will be 17 feet in height and will be clad in prefabricated panels that complement the existing exterior surfaces. The following items were discussed at the pre-application site plan review for 4502 Campus Drive.

Planning/ Zoning

- Provide a landscaping plan with the full site plan. Note existing and any new proposed landscaping. See Chapter 6.2 of Appendix A Zoning Ordinance for landscaping standards.
- Show dumpster and screening materials (note if existing)
- Note any new lighting, aim lights down.
- Note on site plan if no new parking is proposed.
- Show bike parking area.
- It is understood the development team is working with Western Michigan University for BTR Park Design approval.
- The Planning Commission is scheduled to perform the site plan review of this project at the November 4th Planning Commission meeting.

Building

- Provide building height information for building code review.
- Provide construction type and show any hood venting locations.
- Air units have to be 10 feet from the edge.
- Provide construction type on plan and review building code for requirements based on height/ construction type. Note compliance of the standards on the site plan.
- Podium has a 3 hour separation and the elevator has a 2 hour separation requirement. See

Chapter 5 of the Building Code.

- Contact Roger Iveson for any building code questions related to the building. Contact sheet attached.

Fire Marshal

- Show relocated FDC location.
- A hydrant is required within 100 feet of FDC, show new hydrant on site plan.
- Show knox box location.
- Note location of FDC sign and strobe and horn at FDC.

Traffic

- Show stop signs at exit points of driveways.
- Show lane width.
- Right of way permit required for any work in the right of way.

Environmental

- Provide a completed CSI form with a full site plan.
- Provide any environmental reports associated with the property.
- Show existing stormwater management design on site plan.

Water

- Provide an engineering plan for the new hydrant location including profile.
- EGLE permit is required for a new hydrant.
- Show proposed easement for water main to hydrant on private property, 20 foot width centered on the main.
- Will have to connect to a 10 inch main for the hydrant, note separation distances from other utilities for line to hydrant.
- City water standards attached.

Sanitary

- Show existing sanitary connections and note if there are no changes to the line.

Stormwater

- Need pre and post development runoff calculations.
- Provide information on chemical storage areas, uses, etc.
- If there is a larger shared development, a stormwater management plan beyond storing on site provide information on this.
- Provide an engineered stormwater management plan of where the stormwater goes and whether there is sufficient capacity.
- Capacity for a 2 year 24 hour storm is required, preference is to keep it on site.
- Roof run off does not need to be pre-treated.
- Stormwater performance standards attached.

The project team for Kalexsyn Inc. intends to have site plan changes complete and additional information ready within one week for staff.

RECOMMENDATION:

Staff supports approval of the site plan for this minor building addition with the condition that revisions identified by staff are added to the site plan for final review by staff.



Community Planning & Economic Development

245 N. Rose Street, Suite 100 • Kalamazoo, MI 49007

(269) 337-8026 • www.kalamazoo.org

PLANNING COMMISSION APPLICATION

APPLICANT INFORMATION			
Name: Josh Strautz		Mailing Address: 601 First Street NW	
City: Grand Rapids		State: MI	ZIP Code: 49504
Phone: 616-256-2073	Email: jstrautz@rockfordconstruction.com	Preferred Contact: ☒ Email ☐ Phone	
PROPERTY OWNER INFORMATION			
<i>If the applicant is not the property owner, owner must sign application or provide a letter stating that owner gives consent for the application to be filed.</i>			
Name: Kurt Hassberger, Manager - RDG KZO Development, L.L.C.		Mailing Address: 601 First Street NW	
City: Grand Rapids		State: MI	ZIP Code: 49504
Phone: 616.295.6933	Email: khassberger@rockfordconstruction.com	Preferred Contact: ☒ Email ☐ Phone	
PROPERTY INFORMATION			
Property Address(s): 4502 Campus Drive, Kalamazoo, MI 49008			
Parcel Identification Number(s): 06-31-138-025		Zone District (kalamazoo.org/maps): CBTR	
TYPE OF REQUEST			
☐ Rezoning ☐ Text Amendment (Chapter(s) _____, Section(s) _____) ☐ Special Use Permit		☐ Planned Unit Development (PUD) ☐ Preliminary Subdivision ☐ Right of Way Vacation	
Description: Planning commission approval for a proposed 2,040 sq. ft. (44'-0" x 46'-4") addition to and existing 20,725 sq. ft. building.			
ATTACHMENTS			
☒ \$ 0 Fee		☒ Completed Review Sheet	
☒ Other documents or engagement information <i>Note: 10 days before meeting provide update on outreach to neighbors or provide any letters of support</i>			
SIGNATURE			
Signature of Applicant:		Date: 10/7/2021	
Signature of Owner (if different than applicant):		Date: 10/7/2021	

PRE-APPLICATION QUESTIONNAIRE

APPLICANT INFORMATION		
Name: Josh Strautz - Rockford Construction		
Mailing Address: 601 First Street NW		
City: Grand Rapids	State: Michigan	ZIP Code: 49504
Date of Birth: 09/06/1991		
Phone: 616-256-2073	Email: jstrautz@rockfordconstruction.com	Preferred Contact: ☒ Email ☐ Phone
SITE INFORMATION		
Address: 4052 Campus Drive, Kalamazoo, MI 49008		
Status of the Property: ☒ Owner ☐ Lessee ☐ Option or Purchase Agreement ☐ Other: _____		
Current Zoning: <u>CBTR</u> <i>If you do not know, please use our City of Kalamazoo GIS Tool to search for your property</i> https://gis.kalamazoo-city.org/Html5Viewer/index.html?viewer=City_of_Kalamazoo.Kalamazoo_City		
Does the site reside in a district and/or special designation? ☐ Historic District ☐ Brownfield Eligible ☐ Tax Capture or Deferment Area? (such as CIA, TIF, NEZ) ☐ Natural Features Protection – 2025 Master Plan ☐ Wellhead Protection Area		
Do you have environmental reports? ☐ Yes ☒ No		
How many fire hydrants are on site or within 300 ft: <u>TWO (2)</u>		Will the building be sprinkled: ☒ Yes ☐ No
PROJECT DETAILS		
Project Type: ☐ Residential ☒ Commercial ☐ Retail ☐ Industrial ☐ Mixed-Use		
Please describe your project in a way to someone who knows nothing about your plan: <u>Proposed 2,040 sq. ft. (44'-0" x 46'-4") addition to and existing 20,725 sq. ft. building.</u> <u>The addition will be constructed with similar materials to the existing building and will be</u> <u>utilized primarily as storage space.</u>		
What physical site improvements are within your project plan (i.e. buildings, lights, paving, site clearing, landscaping, etc.) <u>Building addition will require minor site grading and landscaping.</u> <u>New exterior lights will be added to the exterior of the proposed addition.</u> <u>Additional paving will be needed to provide access from the parking lot</u> <u>to the proposed addition.</u>		
What utilities are on site? Will any new utilities be added? If so, could you please describe: <u>All existing utilities are on site, the existing exterior fire suppression will need to be re-located</u> <u>along with the exterior signage and strobe.</u>		

Complete in Full, Incomplete applications will not be accepted

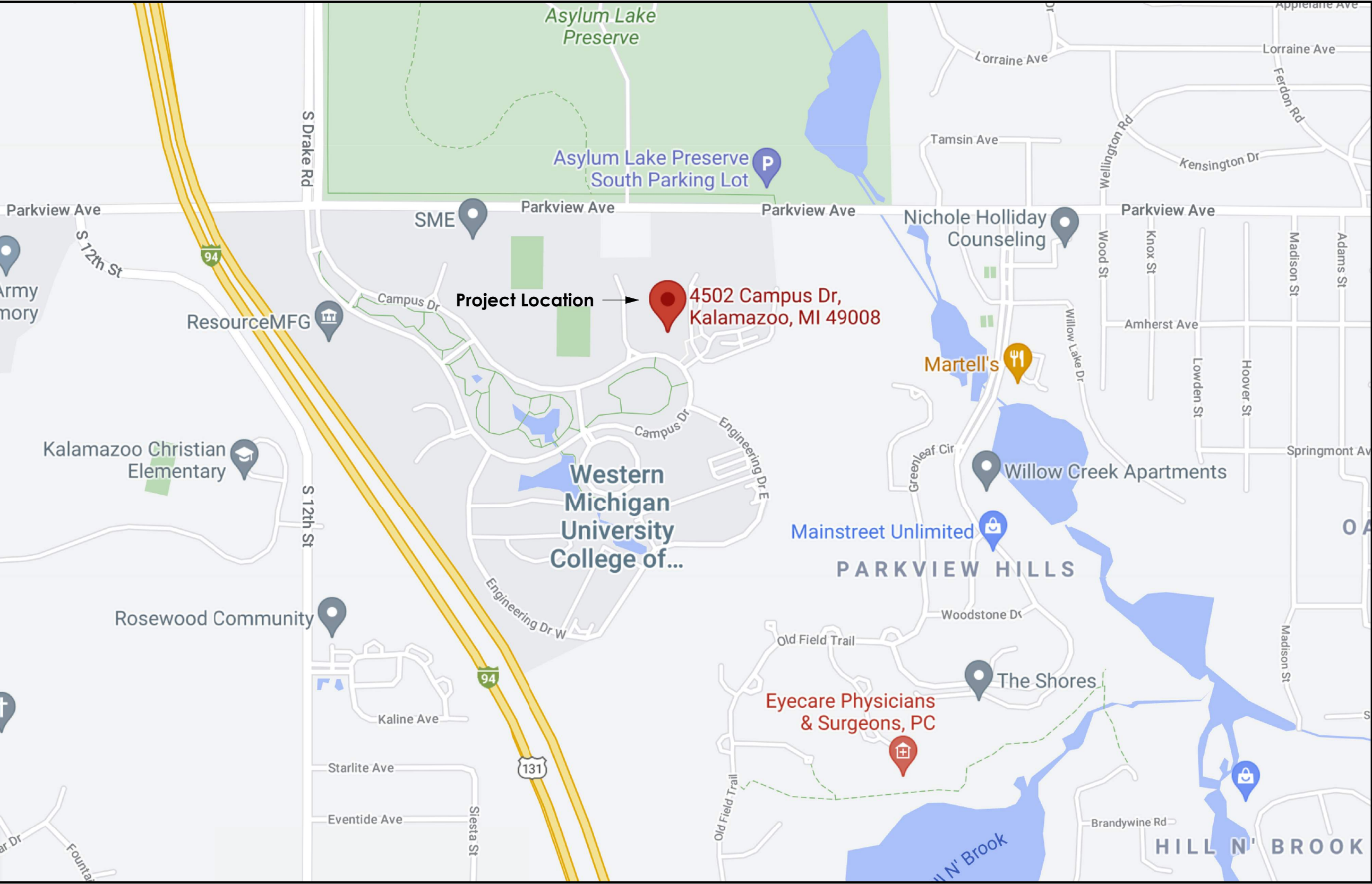
Kalexsyn Inc. - Building Addition

4502 Campus Dr
Kalamazoo, MI 49008

Site Plan Review Set: 10/07/2021

S-1 (Storage) - Storage Per MBC Sections 311.2.

Vicinity Map



Project Team Contact Information

Tenant Representative
Kalexsyn, Inc.
4502 Campus Drive
Kalamazoo, MI 49008
Phone: 269.488.8469
Contact: Brian Eklov
bmeklov@kalexsyn.com

Owner Representative
Rockford Construction
601 First Street NW
Grand Rapids, MI 49504
Phone: 616.285.6933
Contact: Kurt Hassberger
KHassberger@rockfordconstruction.com

Construction Manager
Rockford Construction
601 First Street NW
Grand Rapids, MI 49504
Phone: 616.285.6933
Contact: Kyle Kuipers
kkuipers@rockfordconstruction.com

Architectural Design
Rockford Construction
601 First Street NW
Grand Rapids, MI 49504
Phone: 616.285.6933
Contact: Josh Strautz
jstrautz@rockfordconstruction.com

Drawing Index

CS	Project Cover Sheet
A101.1	Existing Topographic Map
A101.2	Existing Preliminary ALTA/NSPS Land Title Survey
A101.3	Proposed Addition Site Plan
D101.1	Demolition Plan
A102.1	Floor Plan
A103.1	Finish Floor Plan
A103.2	Reflected Ceiling Plan
A108.1	Exterior Elevations

Drawing Symbols

	1 A6.1 ENLARGED DETAIL REFERENCE
	1 A6.1 INTERIOR ELEVATION REFERENCE
	1 FLOOR PLAN KEYNOTE SYMBOL
	101 INTERIOR AND EXTERIOR DOOR TAG
	7'-2" DIMENSION LINE
	2 REVISION REFERENCE
	4 INTERIOR AND EXTERIOR WALL TYPE TAG
	A INTERIOR AND EXTERIOR WINDOW TAG

ICC / ANSI Accessibility General Notes

1. THE BUILDING STRUCTURE MUST BE FULLY ACCESSIBLE TO PERSONS WITH DISABILITIES AND SHALL MEET THE TECHNICAL REQUIREMENTS PER ICC/ANSI 117.1-2010.
2. UTILITY, ELECTRICAL AND MECHANICAL EQUIPMENT ROOMS ARE NOT REQUIRED TO BE ADA ACCESSIBLE.
3. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 2-PERCENT SLOPE.
4. EXTERIOR ACCESSIBLE ROUTES MUST BE PROVIDED FROM ALL POINTS OF PUBLIC ACCESS ON THE SITE TO AN ACCESSIBLE ENTRANCE.
5. ALL NON-CARPETED WALKING SURFACES WHICH ARE PART OF A MEANS OF EGRESS, INCLUDING CORRIDORS, STAIR TREADS AND LANDINGS, SHALL HAVE A SLIP-RESISTANT SURFACE AND BE SECURELY ATTACHED. CARPET SHALL BE SECURELY ATTACHED AND SHALL HAVE A PILE HEIGHT NO GREATER THAN 1/2-INCH. EXPOSED EDGES OF CARPET SHALL HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE.
6. NO THRESHOLD OR CHANGE IN FLOOR FINISH MATERIAL SHALL EXCEED 1/2-INCH. CHANGES IN LEVEL BETWEEN 1/4-INCH AND 1/2-INCH HIGH SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
7. COMMON USE CONTROLS, SUCH AS LIGHT SWITCHES, HVAC CONTROLS, SECURITY ALARM CONTROLS, ELECTRICAL CONVENIENCE OUTLETS, PLUMBING FIXTURE CONTROLS AND OTHER OPERABLE PARTS OF ACCESSIBLE ELEMENTS, SHALL BE LOCATED WITHIN THE REACH RANGES AND MAINTAIN A CLEAR FLOOR SPACE.
8. FORWARD REACH HEIGHT RANGE: 15" MIN TO 48" MAX / OBSTRUCTED FORWARD REACH HEIGHT: 44" MAX. (WITH 20"-25" WIDE OBSTRUCTION SIDE REACH HEIGHT RANGE: UP TO 48" MAX / OBSTRUCTED SIDE REACH HEIGHT RANGE: 46" MAX. (WITH 24" WIDE OBSTRUCTION)
9. ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY WHERE REQUIRED PER ICC/ANSI 117.1-2010.

Project General Notes

1. THE RESPONSIBLE PROJECT TEAM MEMBER SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS OR FIELD VERIFY ALL DIMENSIONS SHOWN WITHIN THE DRAWINGS. SHOULD ANY ERROR OR INCONSISTENCY EXIST, THE CONTRACTOR OR TRADE SHALL NOT PROCEED WITH THE WORK AFFECTED THEREBY UNTIL CORRECTIONS OR CLARIFICATIONS HAVE BEEN MADE.
2. ALL ELEMENTS OF CONSTRUCTION SHALL COMPLY WITH ALL MICHIGAN COMMERCIAL BUILDING CODES, STANDARD BUILDING PRACTICES AND REGULATIONS OF ANY LOCAL / STATE OR INTERNATIONAL GOVERNING AUTHORITIES.
3. ARCHITECTURAL DRAWINGS: PROJECT TEAM MEMBERS ARE RESPONSIBLE FOR A COMPLETE REVIEW. ELEMENTS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE SET OF DRAWINGS. NO "CHANGE ORDERS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE PROJECT TEAM MEMBER SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERROR WHICH THEY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS, THE SITE, OR LOCAL CONDITIONS. THE PROJECT TEAM MEMBER SHALL DISTRIBUTE COMPLETE SETS OF DRAWINGS TO ALL INDIVIDUALS INVOLVED WITH THE PROJECT. DO NOT SEPARATE DRAWINGS BY DISCIPLINE. DO NOT SCALE DRAWINGS.
4. COMPLETENESS: ANY MATERIAL OR LABOR SHOWN ON THE DRAWINGS, NOT SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL APPLICABLE CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER, ARCHITECT OR CONSTRUCTION MANAGER.
5. CONFLICTS WITHIN DRAWINGS: IN THE CASE OF CONFLICTING QUANTITIES / VALUES, THE GREATER AMOUNT OR THE ONE OF GREATER VALUE SHALL PREVAIL AND BE PROVIDED BY THE PROJECT TEAM MEMBERS AS PART OF HIS / HER BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION.
6. INCONSISTENCIES WITHIN DRAWINGS: IN THE CASE OF CONFLICTING OR INCONSISTENT INFORMATION, THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL AND BE PROVIDED BY THE PROJECT TEAM MEMBER AS PART OF HIS / HER BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION.
7. PERMITS: EACH PROJECT TEAM MEMBER SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, LABORS, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK CATEGORY. PROJECT TEAM MEMBERS SHALL FORWARD TO THE ARCHITECT AND CONSTRUCTION MANAGER A COPY OF ALL APPROVED PERMITS, DRAWINGS AND CODE COMPLIANCE ADDENDAS WITH PLAN EXAMINERS COMMENTS AT NO COST TO THE ARCHITECT AND CONSTRUCTION MANAGER. ANY ADDITIONAL WORK REQUIRED AS A RESULT OF THE ABOVE SHALL BE PROVIDED BY THE PROJECT TEAM MEMBER AS PART OF HIS / HER BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION IF THE PROJECT TEAM MEMBER FAILS TO COMPLY WITH PROVIDING THE APPROVED PLANS OR ADDENDA TO THE ARCHITECT AND CONSTRUCTION MANAGER.
8. SUBSTITUTIONS: NO SUBSTITUTION OR ALTERNATE SELECTIONS OF SPECIFIED MATERIALS OR EQUIPMENT WILL BE ACCEPTED UNLESS WRITTEN REQUEST FOR APPROVAL HAS BEEN RECEIVED BY THE ARCHITECT / CONSTRUCTION MANAGER AND THE PROJECT TEAM MEMBER HAS RECEIVED WRITTEN APPROVAL BY THE ARCHITECT.
9. DOCUMENTATION: THE PROJECT TEAM MEMBER SHALL KEEP A RECORD OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. THEY SHALL NEATLY AND CORRECTLY ENTER IN A SEPARATE COLOR WITH REVISION CLOUDS. ANY DEVIATIONS ON THE DRAWINGS AND / OR SPECIFICATIONS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. THE PROJECT TEAM MEMBER WILL PROVIDE AN EXTRA SET OF CONSTRUCTION DOCUMENTS FOR REVISION AND AS-BUILT PURPOSES.
10. PROTECTION: ALL PROJECT TEAM MEMBERS SHALL BE JOINTLY RESPONSIBLE FOR TAKING ALL STEPS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ADJACENT PROPERTY FROM DAMAGES DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES & ORDINANCES. ALL PROJECT TEAM MEMBERS SHALL ALSO BE RESPONSIBLE FOR PROJECT SECURITY FROM THE START OF THE WORK UNTIL THE OWNER ACCEPTS THE PROJECT AS COMPLETE.
11. UPON COMPLETION OF THE JOB AND BEFORE FINAL APPROVAL, THE PROJECT TEAM MEMBERS WILL MAKE ANY FINAL CORRECTIONS TO DRAWINGS RELATED TO THEIR WORK CATEGORY AND SHALL CERTIFY TO THE ACCURACY OF EACH PRINT, THAT THE WORK IS COMPLETE ACCORDING TO ALL CONTRACT DOCUMENTS, AND THE CORRECTIONS TO THE DRAWINGS BY SIGNATURE THEREON AND DELIVER SAME TO THE ARCHITECT AND CONSTRUCTION MANAGER.
12. DRAWINGS INDICATE THE MINIMUM STANDARDS, SHOULD ANY WORK INDICATED BE SUBSTANDARD TO ANY ORDINANCE, LAWS, CODES, RULES OR REGULATIONS BEARING ON THE WORK, THE PROJECT TEAM MEMBER SHALL EXECUTE THE WORK IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS AS A PART OF HIS BASE CONTRACT WITHOUT INCREASE IN COST TO OWNER, ARCHITECT OR CONSTRUCTION MANAGER.
13. ALL DIMENSIONS ARE TO FINISHED WALL SURFACE(S) OR FACE OF MASONRY, UNLESS OTHERWISE NOTED.
14. PROJECT TEAM MEMBERS SHALL REMOVE ALL CONSTRUCTION DEBRIS RELATED TO THEIR WORK CATEGORY FROM THE JOB SITE. ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE ORIGINAL PROJECT CONTRACT.
15. ALL PROJECT TEAM MEMBERS ARE JOINTLY RESPONSIBLE TO HAVE ENTIRE AREA CLEAN AT TIME OF TURN OVER.
16. PRESERVATIVE-TREATMENT: ALL WOOD EXPOSED TO MOISTURE OR IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE PRESSURE TREATED WOOD.
17. CIVIL, MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL ENGINEERING TEAM MEMBERS MUST COORDINATE WITH OTHER TRADES TO ASSURE COMPATIBILITY INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: STRUCTURAL LOADING, POWER REQUIREMENTS AND CLEARING FOR INSTALLATION & MAINTENANCE.
18. CIVIL, MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL ENGINEERING TEAM MEMBERS ARE FULLY RESPONSIBLE FOR THEIR OWN WORK IN TERMS OF BUT NOT LIMITED TO: ALL CODES, DIMENSIONS, COORDINATION WITH OTHER TRADES & ALL APPLICABLE MUNICIPAL AND OTHER GOVERNMENTAL APPROVALS.
19. CONTRACT DOCUMENTS FOR CIVIL, MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL ENGINEERING CONSULTANTS SHALL BE SUBMITTED, REVIEWED AND APPROVED BY THE MICHIGAN BUILDING DEPARTMENT PRIOR TO THE ISSUANCE OF THEIR RESPECTIVE PERMITS.
20. INSULATION MATERIALS INSTALLED IN CONCEALED SPACES SUCH AS WALLS OR CEILINGS SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPMENT OF NOT MORE THAN 450.
21. FIRE EXTINGUISHERS SHALL BE PROVIDED DURING CONSTRUCTION IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE AND BEAR THE LABEL OF AN APPROVED AGENCY.

Abbreviations

AB	ANCHOR BOLT	GA	GAUGE OR GAGE	CPT	CARPET	MIR	MIRROR	SECT	SECTION
ABV	ABOVE	GALV	GALVANIZED	CSMT	CASEMENT	MISC	MISCELLANEOUS	SF	SQUARE FEET
AC	AIR CONDITIONING	GRAB	GRAB BAR	CT	CERAMIC TILE	MOLD	MOLDING	SH	SHELVING
ACT	ACOUSTICAL CEILING TILE	GC	GENERAL CONTRACTOR	CTR	CENTER	MO	MASONRY OPENING	SHT	SHEET
ADA	AMERICAN DISABILITIES ACT	GD	GRADE			MS	MOP SINK	SIM	SIMILAR
ADH	ADHESIVE	GF	GROUND FAULT INTERRUPT	D	DEPTH	MT	MOUNT OR MOUNTED	SPEC	SPECIFICATION(S)
ADJ	ADJUSTABLE	GL	GLASS OR GLAZING	DBL	DOUBLE	MTL	METAL	SPRINKLR	SPRINKLER
AFF	ABOVE FINISH FLOOR	GND	GROUND	DEMO	DEMOLISH OR DEMOLITION			SQ	SQUARE
ALT	ALTERNATE	GYP	GYPSON	DEPT	DEPARTMENT			SS	STAINLESS STEEL
ALUM	ALUMINUM	GYP BD	GYPSON BOARD	DET	DETAIL	N/A	NOT APPLICABLE	STD	STANDARD
ANOD	ANODIZED			DF	DRINKING FOUNTAIN (ADA)	NIC	NOT IN CONTRACT	STL	STEEL
APPOX	APPROXIMATELY	HB	HOSE BIBB	DIA	DIAMETER	NOM	NOMINAL	STOR	STORAGE
ARCH	ARCHITECTURAL	HC	HOLLOW CORE	DIM	DIMENSION	NTS	NOT TO SCALE	SV	STRUCTURAL
AUTO	AUTOMATIC	HDR	HEAD OR HEADER	DISP	DISPENSER	OA	OVERALL	SYM	SYMMETRICAL
&	AND	HDW	HARDWARE	DN	DOWN	OC	ON CENTER(S)	SYMB	SYMBOL
<	ANGLE	HW	HOLLOW METAL	DR	DOOR	OD	OUTSIDE DIMENSION OR DIAMETER		
@	AT	HOR	HORIZONTAL	DS	DOWNSPOUT	OFC	OFFICE		
		HT	HEIGHT	DWG	DRAWING	OH	OVERHEAD	T&G	TOUNGE & GROOVE
BEL	BELOW	HVAC	HEATING, VENTILATION & AIR CONDITIONING	DWR	DRAWER	OPNG	OPENING	TB	TOWEL BAR
BD	BOARD					OPP	OPPOSITE	TEL	TELEPHONE
BIT	BITUMINOUS			EA	EACH	OSB	ORIENTED STRAND BOARD	THK	THICK OR THICKNESS
BLDG	BUILDING	ID	INSIDE DIMENSION	EB	EXPANSION BOLT	PART BD	PARTICLE BOARD	TOC	TOP OF CONCRETE
BLK	BLOCK	IN	INCHES	EB	EXPANSION BOLT	PERF	PERFORATED	TOD	TOP OF DECK(ING)
BLKG	BLOCKING	INSUL	INSULATE(D)(I)(ON)	EJ	EXPANSION JOINT	PL	PLATE	TOS	TOP OF STEEL
BM	BEAM	INT	INTERIOR	ELEC	ELECTRIC(ITY)	PLAM	PLASTIC LAMINATE	TS	TUBE STEEL
B/O	BY OWNER			ELEV	ELEVATION OR ELEVATOR	PNL	PANEL	TV	TELEVISION
BOT	BOTTOM	JB	JUNCTION BOX	EMER	EMERGENCY	PNT	PAINT	TYP	TYPICAL
BRG	BEARING	JC	JANITOR'S CLOSET	EP	ELECTRIC PANEL	PR	PAINTED		
BTM	BOTTOM	JT	JOINT	EQ	EQUAL	PLYWD	PLYWOOD	UN	UNFINISHED
BTW	BETWEEN	KIT	KITCHEN	EQUIP	EQUIPMENT	PVC	POLY VINYL CHLORIDE	UNO	UNLESS NOTED OTHERWISE
BSMT	BASEMENT	KO	KNOCK OUT	EWC	ELECTRIC WATER COOLER	EXH	EXHAUST	UR	URINAL
BUR	BUILT-UP ROOFING	KPL	KICK PLATE	EXH	EXHAUST	EXT	EXISTING		
		LAM	LAMINATE	EXP	EXPANSION OR EXPOSED	QT	QUARRY TILE	V8	VINYL BASE
CAB	CABINET	LAV	LAVATORY	EXT	EXTERIOR			VCT	VINYL COMPOSITION TILE
CB	CATCH BASIN	LB	LAG BOLT			R	RESILIENT CHANNEL	VER	VERTICAL
CEM	CEMENT	LBL	LABEL	FA	FIRE ALARM	RA	RETURN AIR	VEST	VESTIBULE
CG	CORNER GUARD	LIN	LINEAR	FE	FIRE EXTINGUISHER	RAD	RADIUS	VIF	VERIFY IN FIELD
CI	CONTROL JOINT	LIT	LIGHT	FEC	FIRE EXTINGUISHER CABINET	RCP	REFLECTED CEILING PANEL	VT	VINYL TILE
CL	CENTERLINE	LVP	LUXURY VINYL PLANK	FF	FINISH FLOOR	RD	ROOF DRAIN		
CLG	CEILING	LWT	LIGHTWEIGHT	FFE	FINISHED FLOOR ELEVATION	REF	REFERENCE	W	WIDE
CLO	CLOSET			FD	FLOOR DRAIN	REINF	REINFORCED	W/	WITH
CLR	CLEAR(ANCE)	MAS	MASONRY	FDN	FOUNDATION	REQD	REQUIRED	W/O	WITHOUT
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMUM	FIN	FINISH	REV	REVISED(D)(ION)	WC	WATER CLOSET
C.O.	CLEAN OUT	MDO	MEDIUM DENSITY FIBERBOARD	FLS	FLOOR(ING)	RO	ROUGH OPENING	WD	WOOD
COL	COLUMN	MECH	MECHANICAL	FT	FIRE AND LIFE-SAFETY	RFG	ROUGH OPENING	WH	WATER HEATER
CONC	CONCRETE	MEMB	MEMBRANE	FTG	FOOTING	RM	ROOM	WP	WATERPROOFING
CONF	CONFERENCE	MEZZ	MEZZANINE	FUR	FURRED	SC	SOLID CORE	WSCOT	WAINSCOT
CONT	CONTINUOUS	MFR	MANUFACTURER	FUT	FUTURE	SCHED	SCHEDULE	WWT	WEIGHT
CONTR	CONTRACTOR	MIN	MINIMUM					WWF	WOVEN WIRE FABRIC
COORD	COORDINATE								
CORR	CORRIDOR								



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CONSTRUCTION

601 FIRST STREET NW
GRAND RAPIDS, MI 49504

P: (616) 256-2073
<https://rockfordconstruction.com/>
Copyright Rockford Design LLC

Kalexsyn Inc.

Kalexsyn Inc. - Building Addition

4502 Campus Dr, Kalamazoo, MI 49008

Project Cover Sheet

Drawing Set	Date
Site Plan Review Set	10-07-2021

Project number	221017
Date	10/07/2021
Drawn by	KE
Checked by	JS
Scale	As indicated

CS

Kalexsyn Inc.

Kalexsyn Inc. - Building Addition

4502 Campus Dr, Kalamazoo, MI 49008

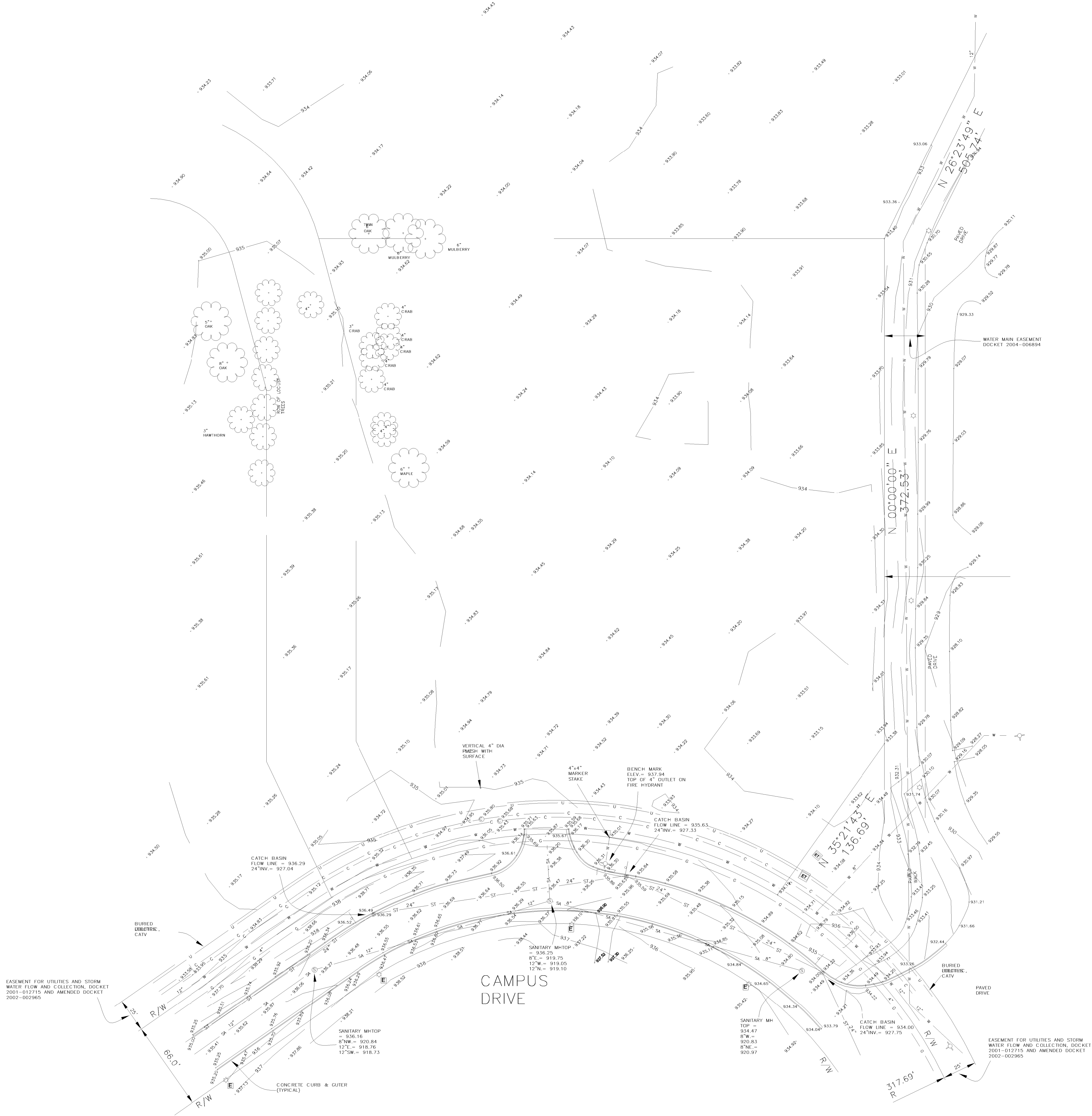
Existing Topographic Map

Drawing Set	Date
Site Plan Review Set	10-07-2021

Project number	221017
Date	10/07/2021
Drawn by	KE
Checked by	JS
Scale	As indicated

A101.1

SITE SURVEY BY OTHERS

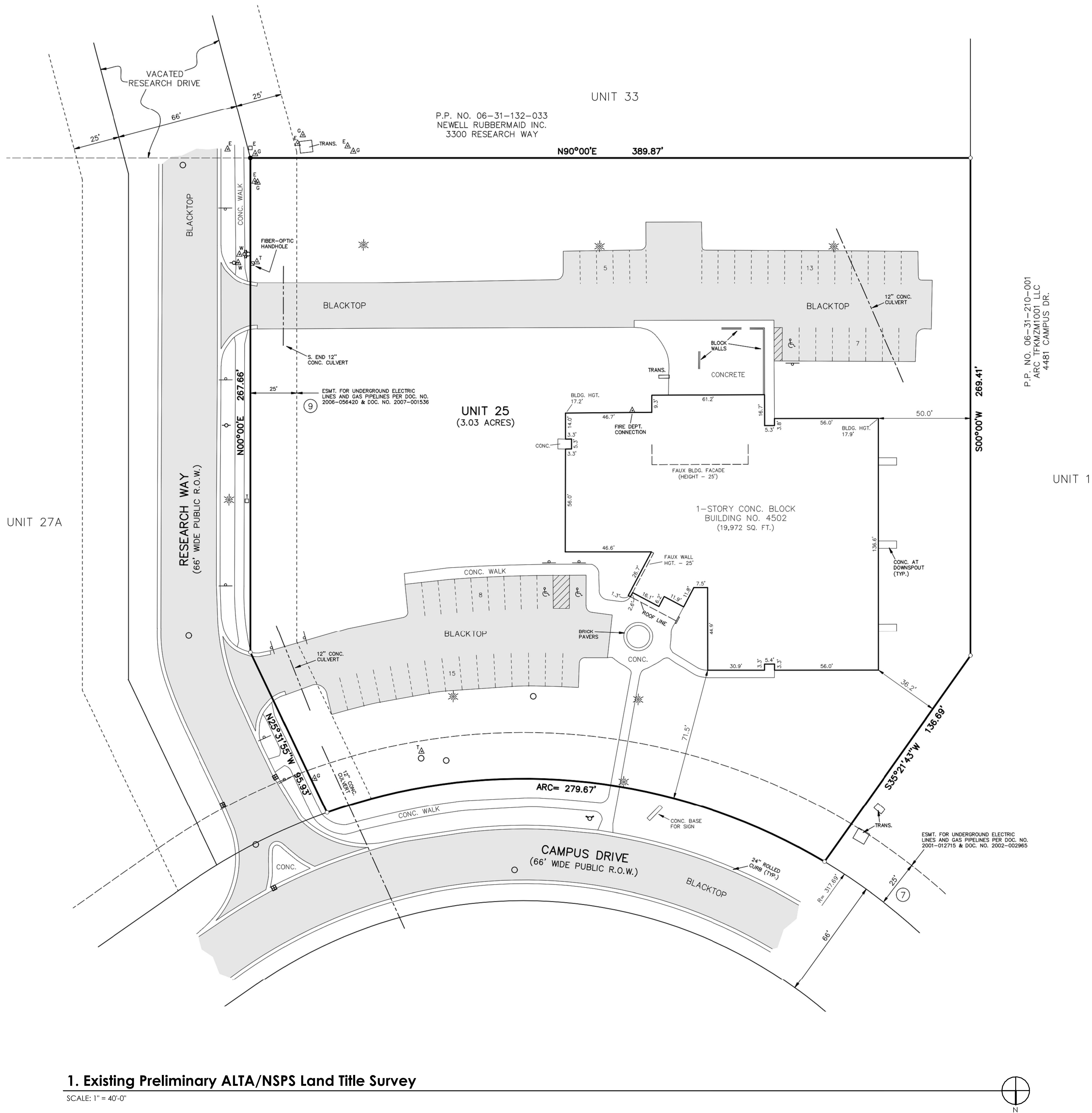




4502 Campus Dr, Kalamazoo, MI 49008

[illegible]

A101.2



Kalexsyn Inc.

Kalexsyn Inc. - Building Addition

4502 Campus Dr, Kalamazoo, MI 49008

Proposed Addition Site Plan

Drawing Set	Date
Site Plan Review Set	10-07-2021

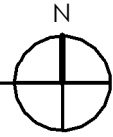
Project number	221017
Date	10/07/2021
Drawn by	KE
Checked by	JS
Scale	As indicated

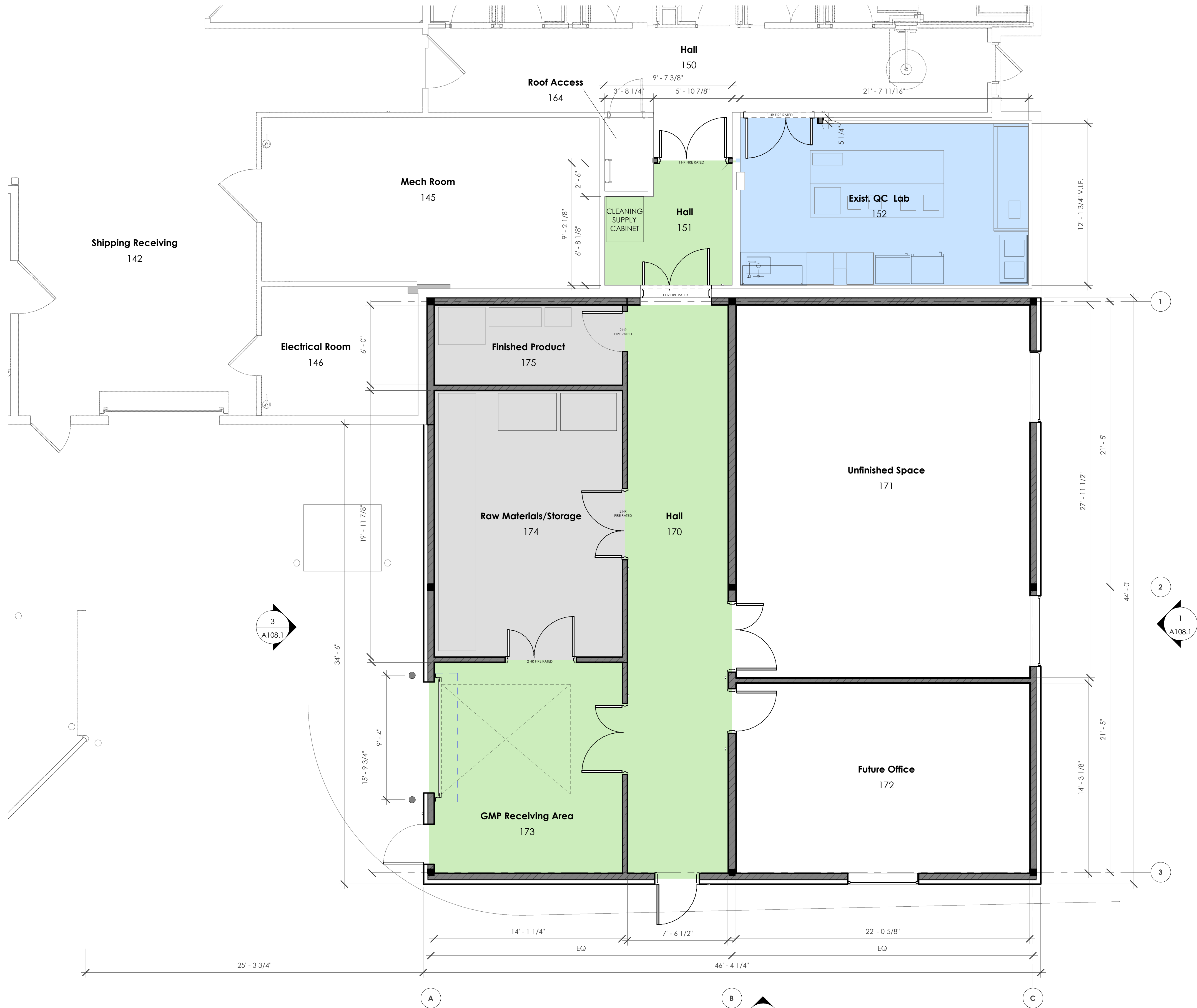
A101.3



1. Proposed Addition Site Plan

SCALE: 1" = 30'-0"





1. Floor Plan

SCALE: 1/4" = 1'-0"

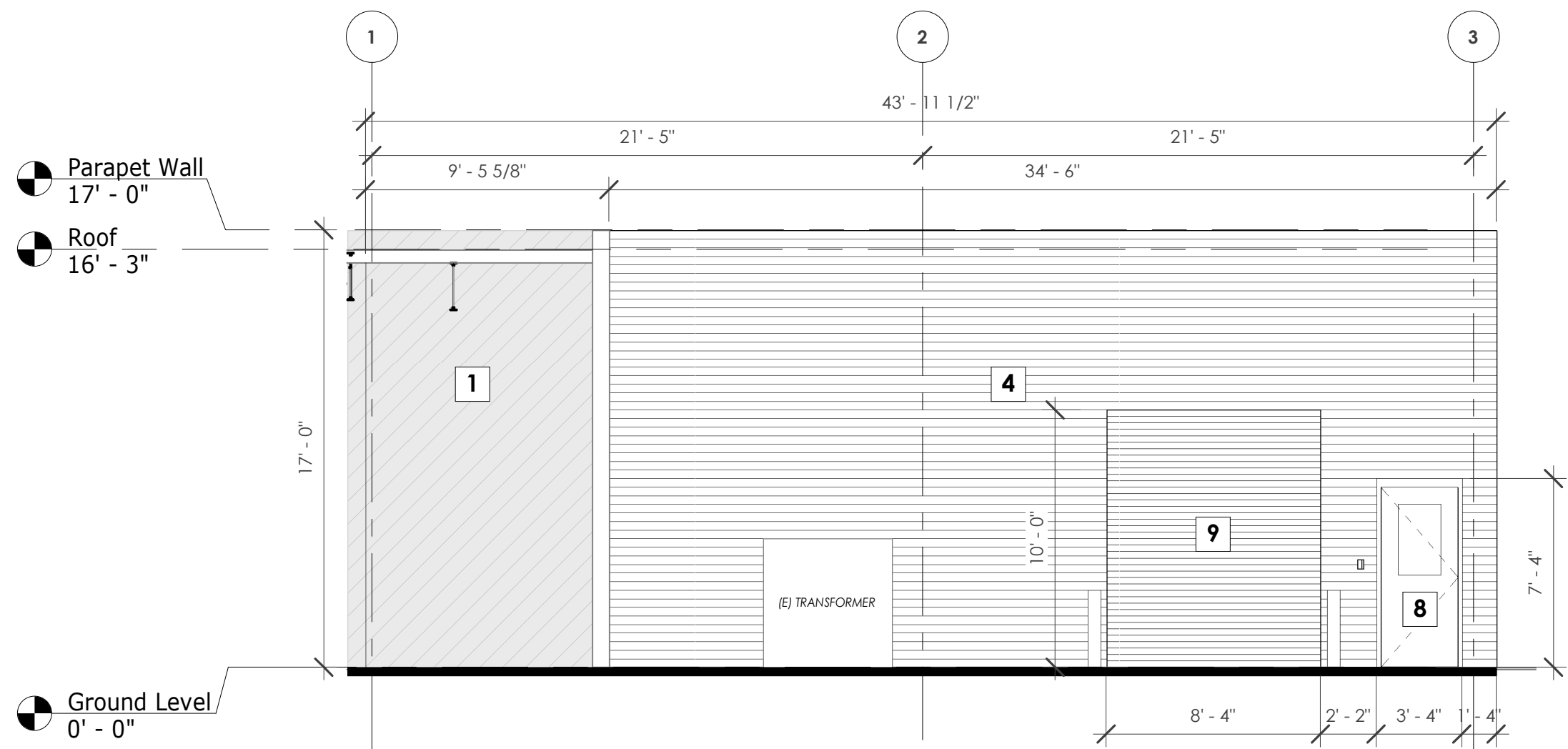
Kalexsyn Inc.

Kalexsyn Inc. - Building Addition
4502 Campus Dr, Kalamazoo, MI 49008
Floor Plan

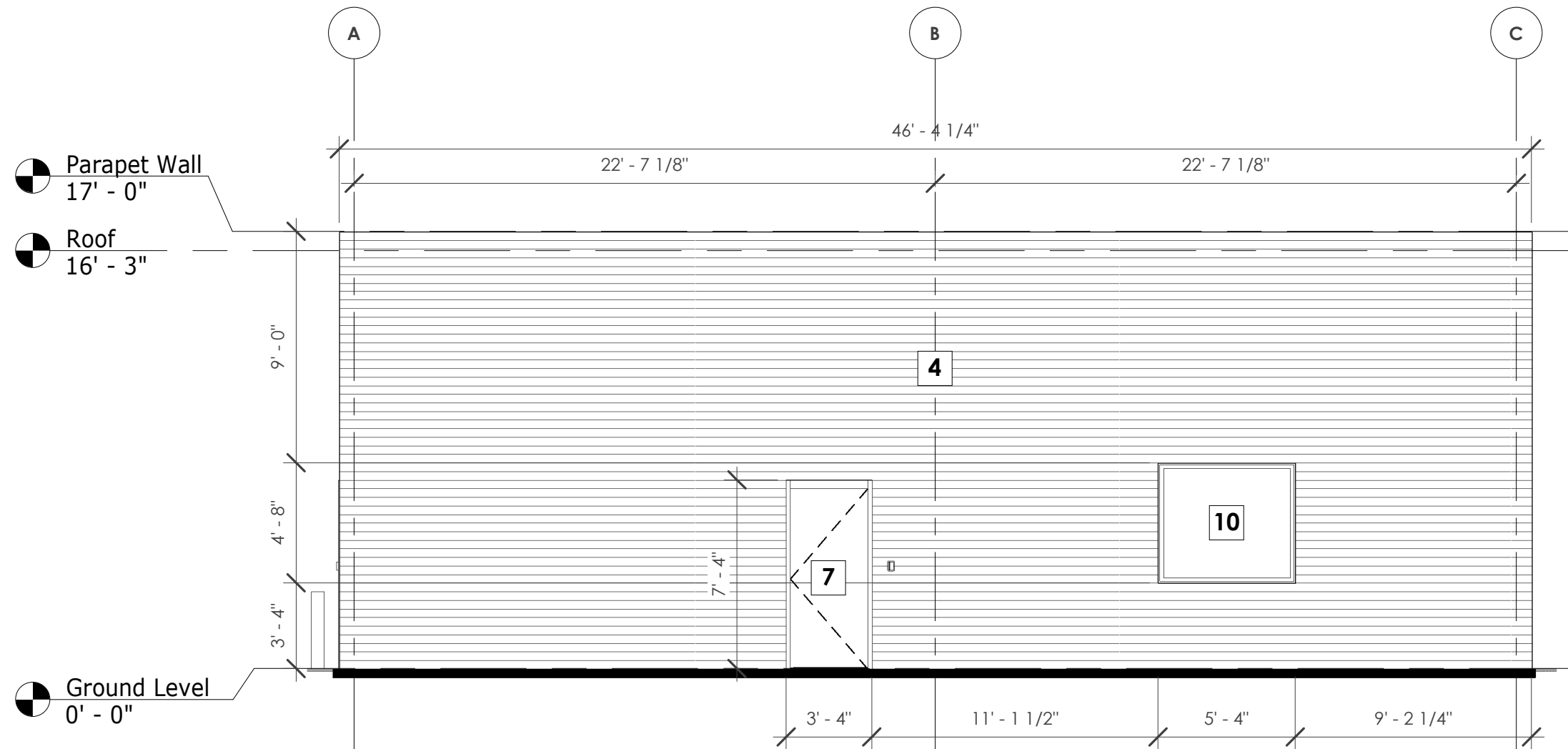
Drawing Set	Date
SD Set	10-07-2021

Project number	221017
Date	10/07/2021
Drawn by	KE
Checked by	JS
Scale	As indicated

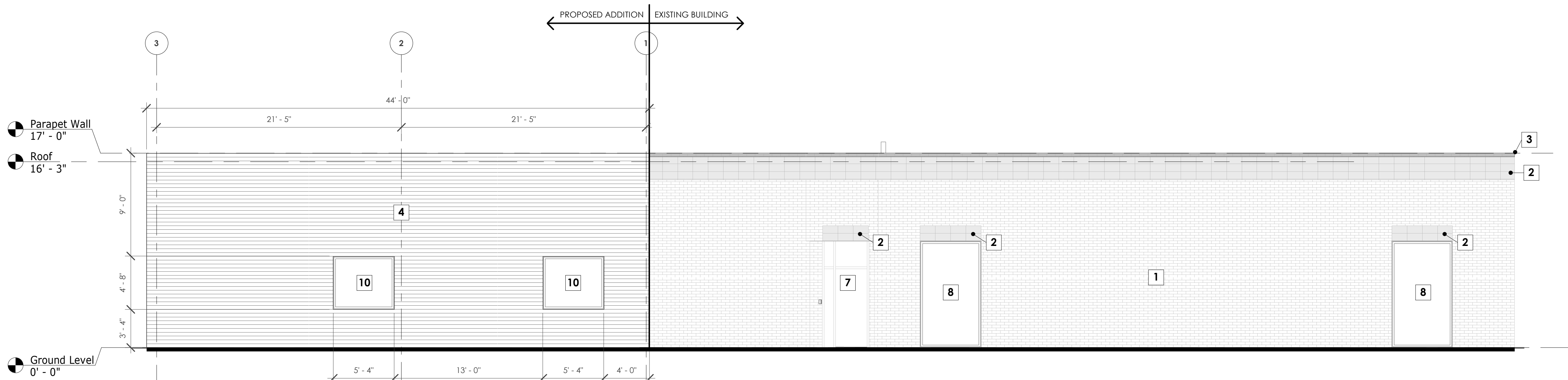
A102.1



3. East Wall Exterior Elevation



2. North Wall Exterior Elevation



1. West Wall Exterior Elevation

Exterior Materials Legend

LABEL	MATERIAL	MANUFACTURER	STYLE	COLOR
1	EXISTING CMU BLOCK WALL	EXISTING	EXISTING	EXISTING - NO CHANGES PROPOSED
2	EXISTING CMU BLOCK STACKED WALL	EXISTING	EXISTING	EXISTING - NO CHANGES PROPOSED
3	EXISTING PRE-FINISHED METAL PARAPET CAP	EXISTING	EXISTING	EXISTING - NO CHANGES PROPOSED
4	NEW ARCHITECTURAL METAL SIDING	---	---	
5	EXISTING STOREFRONT DOOR & WINDOW	EXISTING	EXISTING	EXISTING - NO CHANGES PROPOSED
6	EXISTING ALUMINUM STOREFRONT WINDOW	EXISTING	EXISTING	EXISTING - NO CHANGES PROPOSED
7	NEW INSULATED EXT. HOLLOW METAL DOOR	---	---	NEW PAINT - COLOR TBD
8	NEW HOLLOW METAL DOOR WITH HALF LITE	---	---	NEW PAINT - COLOR TBD
9	NEW INSULATED METAL OVERHEAD DOOR	---	---	NEW PAINT - COLOR TBD
10	NEW ALUMINUM STOREFRONT WINDOW	---	---	NEW PAINT - COLOR TBD

Exterior Elevation General Notes

- ALL INTERIOR AND EXTERIOR FINISHES ARE CONSIDERED BASIS OF DESIGN. APPROVED EQUALS WILL BE CONSIDERED BUT NEED FORMAL APPROVAL FROM THE ARCHITECT OF RECORD & OWNER PRIOR TO PROCUREMENT AND INSTALLATION.
- SAMPLES FOR INITIAL SELECTION - SUBMIT MANUFACTURER'S COLOR CHARTS CONSISTING OF UNITS OR SECTIONS OF UNITS SHOWING THE FULL RANGE OF COLORS, TEXTURES AND PATTERNS AVAILABLE.
- SAMPLES FOR VERIFICATION - SUBMIT FULL-SIZE UNITS OR SAMPLES OF SIZE INDICATED, PREPARED FROM THE SAME MATERIAL TO BE USED FOR THE WORK, CURED AND FINISHED IN THE MANNER SPECIFIED, AND PHYSICALLY IDENTICAL WITH MATERIAL OR PRODUCT PROPOSED FOR USE, AND THAT SHOW FULL RANGE OF COLOR AND TEXTURE VARIATION EXPECTED. SAMPLES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: PARTIAL SELECTIONS OF MANUFACTURED OR FABRICATED COMPONENTS; SMALL CUTS OR CONTAINERS OF MATERIALS; COMPLETE UNITS OF REPETITIVELY USED MATERIALS; SWATCHES SHOWING COLOR, TEXTURE, AND PATTERN; COLOR RANGE SETS; AND COMPONENTS USED FOR INDEPENDENT TESTING AND INSPECTION.

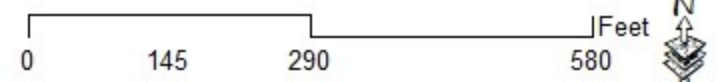
Drawing Set	Date
Site Plan Review Set	10-07-2021

Project number	221017
Date	10/07/2021
Drawn by	KE
Checked by	JS
Scale	As indicated

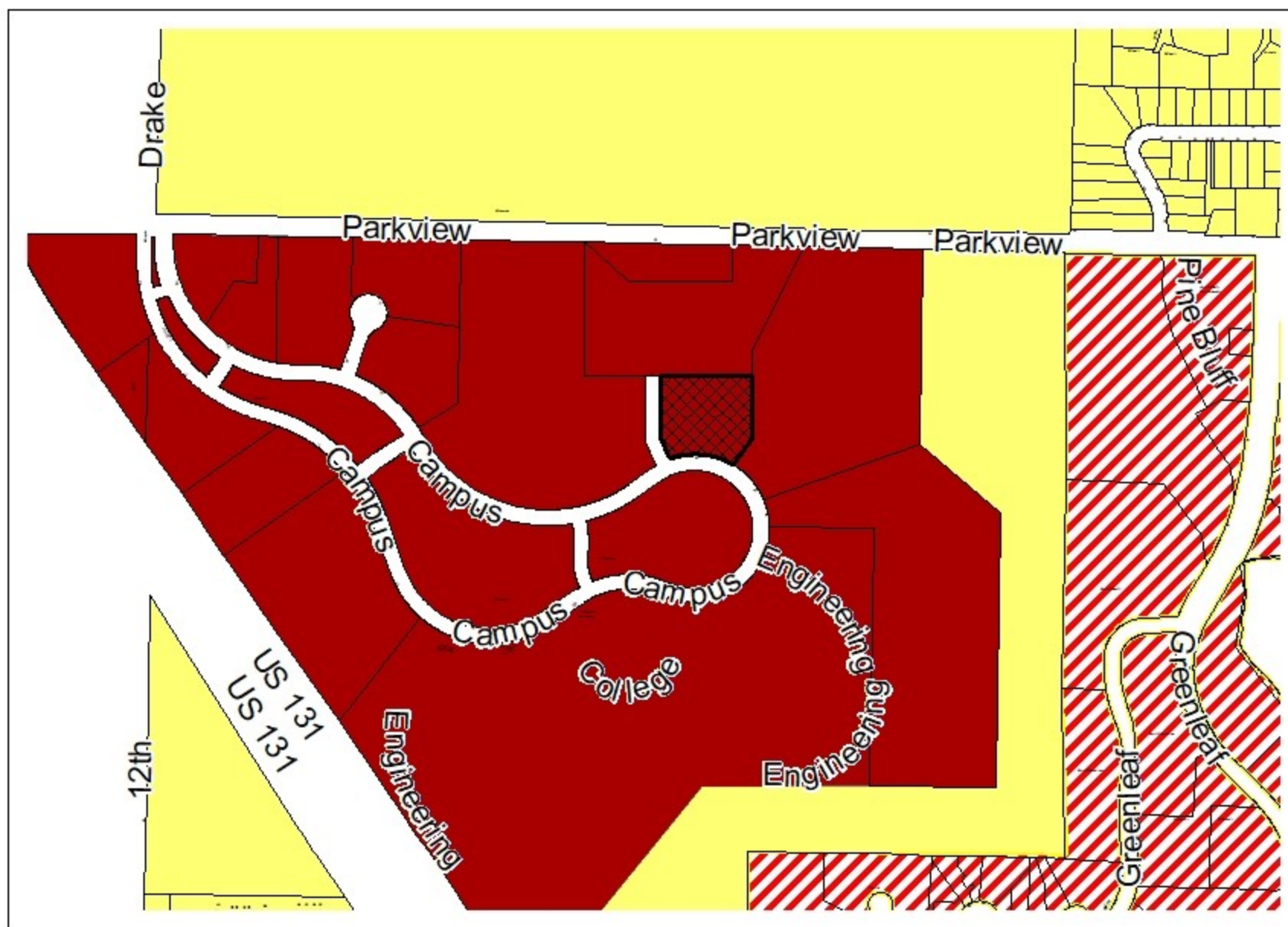
P. C. #2021.16 - 4502 Campus Drive
Site Plan Review for Kalexsyn Building Addition



P. C. #2021.16 - 4502 Campus Drive
Site Plan Review for Kalexsyn Building Addition



P. C. #2021.16 - 4502 Campus Drive Site Plan Review for Kalexsyn Building Addition



Current Zoning



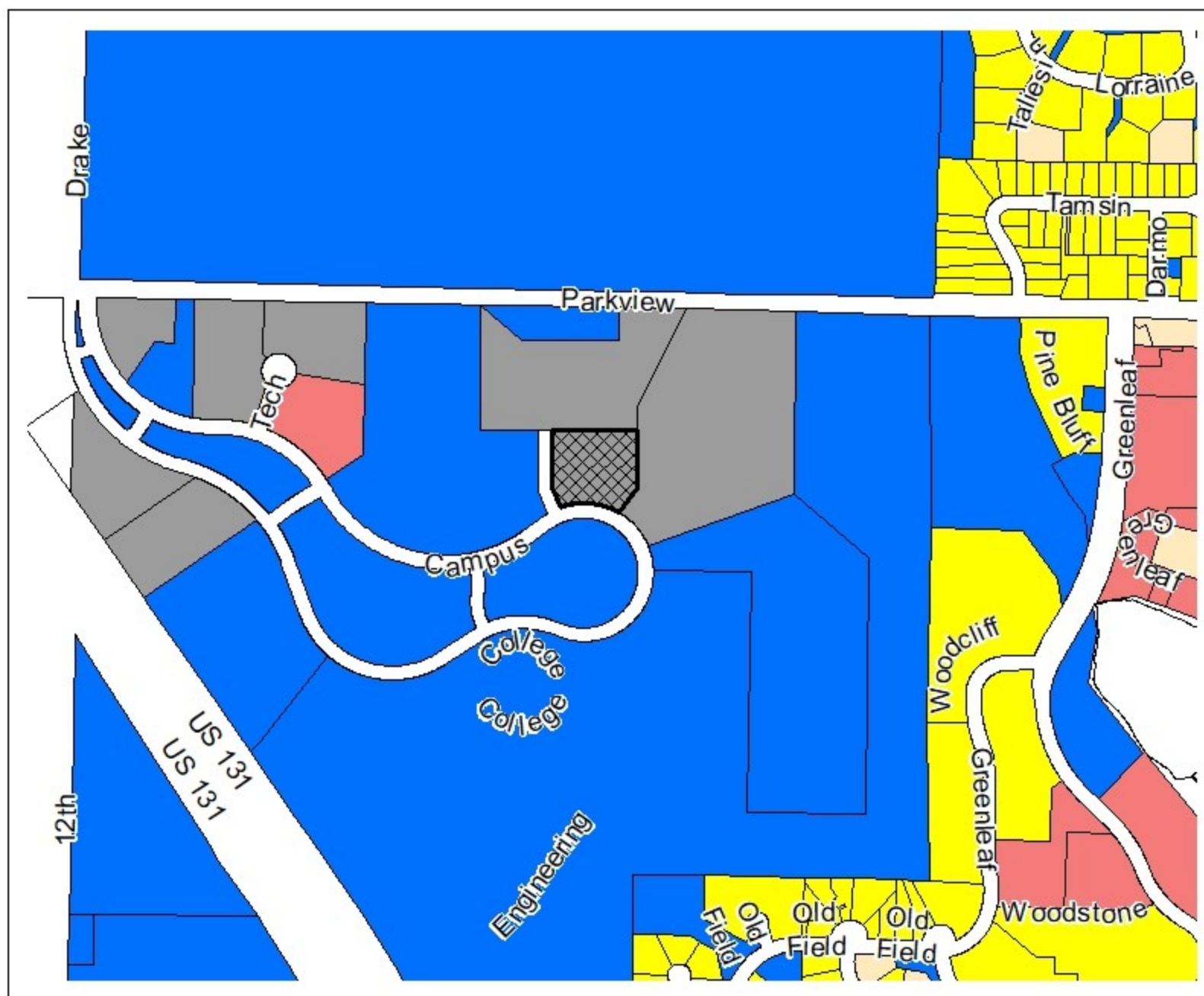
P. C. #2021.16 - 4502 Campus Drive
 Site Plan Review for Kalexsyn Building Addition

0 265 530 1,060 Feet



P. C. #2021.16 - 4502 Campus Drive
Site Plan Review for Kalexsyn Building Addition

EXISTING LAND USE



Land Use

propclass

	Commercial
	Vacant
	Residential
	Industrial
	Tax Exempt

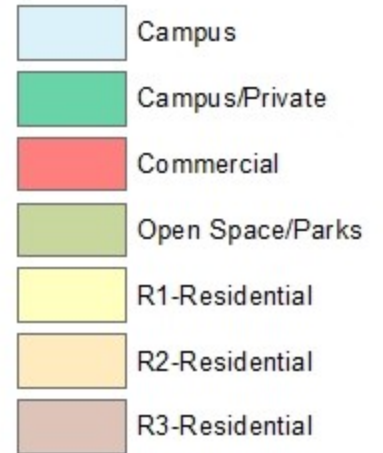
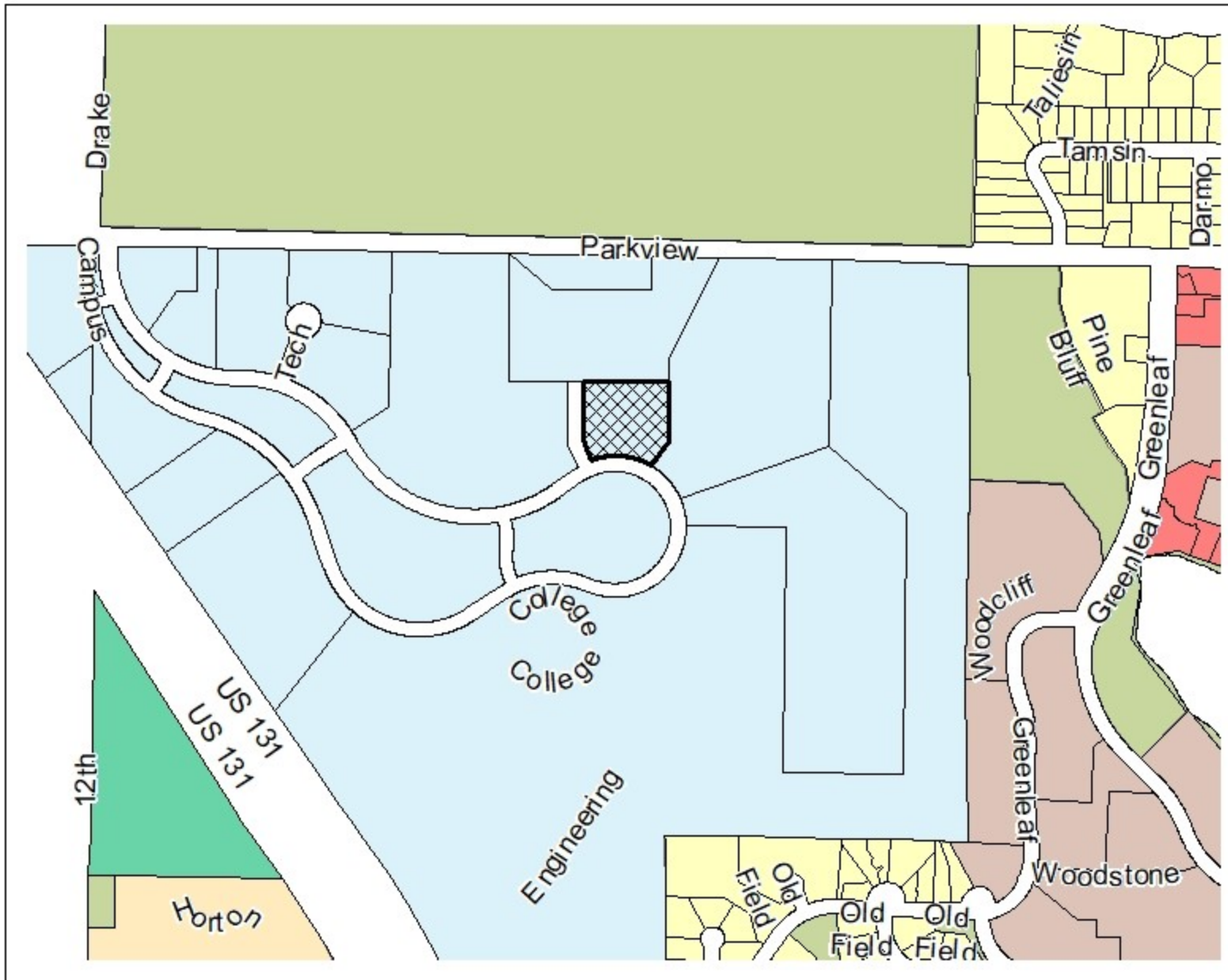


P. C. #2021.16 - 4502 Campus Drive
Site Plan Review for Kalexsyn Building Addition

0 485 970 Feet
1,940

P. C. #2021.16 - 4502 Campus Drive
Site Plan Review for Kalexsyn Building Addition

FUTURE LAND USE



P. C. #2021.16 - 4502 Campus Drive
Site Plan Review for Kalexsyn Building Addition



Site Plan Update 2022

An update on the process and Site Plan Review Committee
To the City of Kalamazoo Planning Commission

APPROVED PRESENTATION

Bobby Durkee, AICP
Planner I
11-04-2021

1

Background

- 2018 implementation of a revised site plan review process, Plan reviews switched to a digital review of site plans. A paper copy of plans was provided with a digital copy.
- 2020 – In March typical in-person meetings were impacted by the Covid-19 Pandemic.
- Meetings went to a digital format instead of in person. The digital meetings allowed site plan review meetings to continue uninterrupted throughout the pandemic.
- A recent policy update removes the paper copy requirement, incorporated changes based on annual review of the process

2

The Site Plan Review Committee

- Reviewers review site plans for compliance for City standards for zoning, planning, engineering, utility and public safety standards.
- Each reviewer must approve the site plan for site plan approval.
- No permits are issued for work until the Site Plan is approved.

Stormwater

Eric Sajtar -Senior Civil Engineer – Water Resources Division

Sanitary

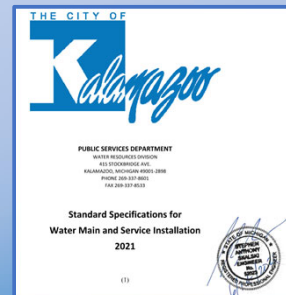
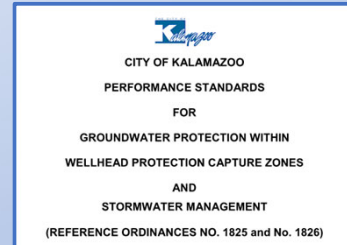
Sohil Manjiyani – Senior Civil Engineer – Wastewater Division

Water

Anna Crandall – Senior Civil Engineer – Water Resources Division

Traffic

Dennis Randolph – Traffic Engineer



3

The Site Plan Review Committee

Environmental

Jean Talanda – Environmental Programs Manager

Public Safety

Scott Brooks - Fire Marshal

Building Safety

Roger Iveson – Building Official

Zoning

Jared Chambers – Zoning Inspector

Planning

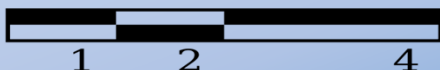
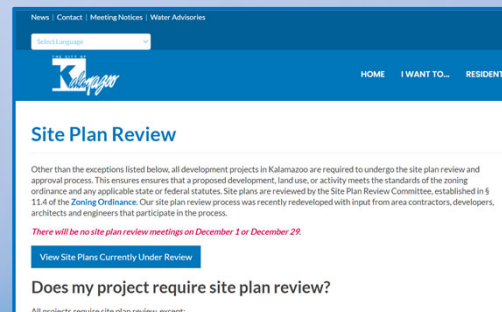
Bobby Durkee – Planner I

Additional City Departments and Division

may be included on specific reviews if needed to provide assistance with historic or design districts, natural feature protection, economic development.

Interested Citizens

All site plans are posted at www.kalamazoo.org/siteplan with the ability to email any comments or questions on any posted plan to siteplan@kalamazoo.org



4

The Site Plan Review Process

Pre Site Plan Review – Typically a 1 to 2 week review
 Opportunity to go over any significant concerns early in the process and address ahead of final plan development.
 Pre-Site Plan Meeting held & meeting summary provided.
 Applicant prepares full site plan

Full Site Plan Review – 3 week review

Applicant is sent review summary 5 days before meeting.

Site Plan Approved or a Revised Site Plan is Returned
 Requested changes are confirmed within 5 to 10 business days.

Site Plan Approved!

Permitting and Construction.

Improvements inspected near or at the time of project completion.

CITY OF KALAMAZOO – PRE-APPLICATION QUESTIONNAIRE

The Pre-Application Meeting is the first step in Site Plan Review. Please complete the following questionnaire about your project to be scheduled for a Pre-Application Meeting. We want to get you in a meeting as soon as we can, so to help us, please ensure that your questionnaire is answered completely, and submit any additional documents that may be useful to your site plan review.

If you have any questions, please call 269-377-8044 or email us at siteplan@kalamazoo-city.org.

DOCUMENTS TO INCLUDE WITH THIS APPLICATION

- Concept Site Plan drawn to scale of site and any existing and proposed improvements.
- Use of property, building information, outside changes, surrounding land uses.
- Location of right of way, easements and utility locations, existing and proposed.
- Property owner contact information (if applicant is not the owner of property).
- Environmental reports associated with the project.
- Stormwater management plan if increasing impervious coverage on site.
- Any impact, closure or development within the right of way (sidewalk, curb lawn or street).

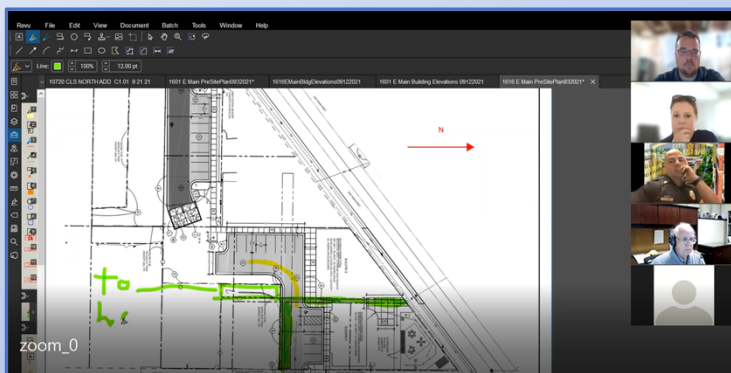
DEPOSIT & FEES

The pre-site plan application has no fee associated with it, the final site plan after this initial phase has a fee and can be found on the current City of Kalamazoo Fee Schedule. We want your project to be successful and up to code standards, and the Pre-Application Meeting allows you to meet and

5

The Site Plan Review Process

- Meetings are held currently via Zoom & Recorded.
- Every site plan has a pre- site plan and a full site plan review meeting with the Committee.
- Screenshare tool allows for all reviewers to go over plan at the same time. Bluebeam software allows for quick and rapid drawing tools on the plan.

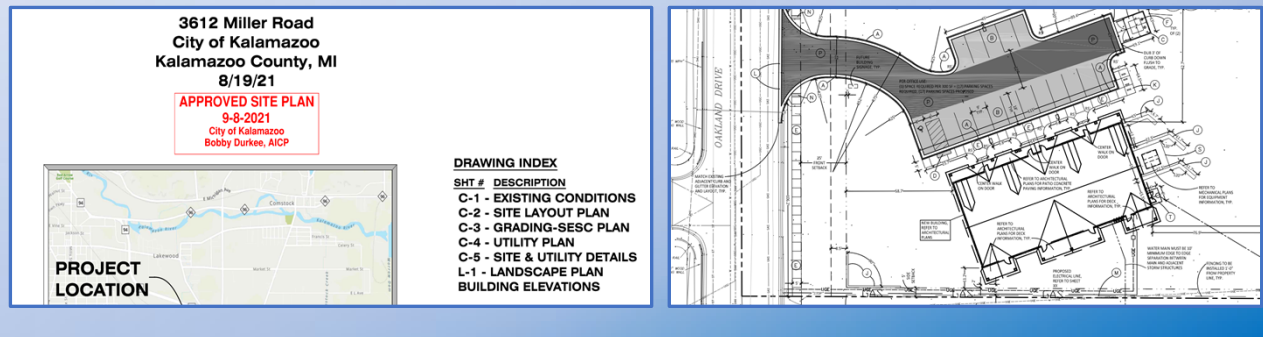


Item	Status
Step 5: Staff Review, Approved, Revision 2	Approved
Master Plan, Approved as Presented	Approved
Building, Approved	Approved
Stormwater, Approved	Approved
Environmental, Approved	Approved
Process Step History	
Revision 1: Disapproved	Disapproved
Master Plan, Rejected	Rejected
Zoning, Approved	Approved
Building, Additional Info Requested	Additional Info Requested
Fire Marshal, Approved	Approved
Stormwater, Rejected	Rejected
Environmental, Not Approved	Not Approved
Traffic, Approved	Approved
Planning, Partially Approved	Partially Approved
Original Submittal: Disapproved	Disapproved
Master Plan, Rejected	Rejected
Zoning, Rejected	Rejected
Building, Additional Info Requested	Additional Info Requested
Fire Marshal, Partially Approved	Partially Approved
Water, Approved	Approved
Stormwater, Rejected	Rejected
Wastewater, Approved	Approved
Environmental, Not Approved	Not Approved
Traffic, Partially Approved	Partially Approved
Planning, Partially Approved	Partially Approved

6

The Site Plan Review Process

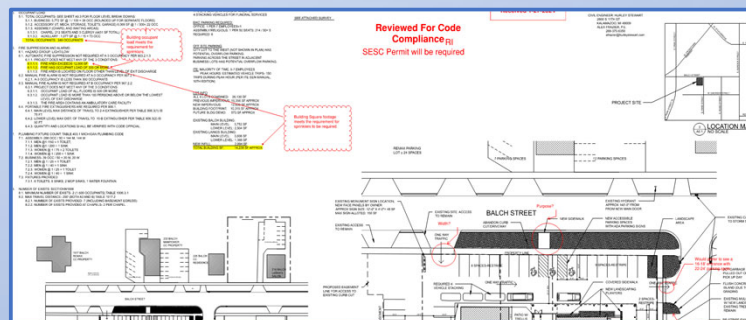
- Approved Site Plan is placed in permit software and is accessible to departments as development moves forward
- Site Changes that result in amendments are coordinated depending on the level of change. Records of amendments are kept in the permit system with approved site plan and in site plan record.
- At or near the time of occupancy site plan improvements are inspected.



7

RRC & Annual Review of Site Plan Process

- *Best Practice Expectation*
- *The joint site plan review team, including permitting and inspections staff, meets to capture lessons learned and amends the process accordingly.*
- January 2022 The Site Plan will hold an annual meeting to discuss process and areas for improvement.
- 2021 Review of process found the digital review was working well with the disruption to in person meetings.



8

Site Plans Posted for Public Viewing

www.kalamazoocty.org/siteplans

News | Contact | Meeting Notices | Water Advisories

Select Language

1438-2022-01

HOME | I WANT TO... | RESIDENTS | DEPARTMENTS | NEWS | ABOUT

Active Site Plans

Below are active site plans that are available for public review. Please send any comments regarding a site plan to siteplan@kalamazoocty.org.

CPED Offices are open by appointment only and in-person Site Plan Review Meetings will not take place. Site Plan Review is still occurring and applications are being accepted when applied for and scheduled as normal. Depending on the results of review, a written review or a Zoom meeting will substitute in-person meetings until further notice.

2839 Millcork St, Review Date: 11/10/21	710 Collins St, Review Date: 11/10/21	215 E Michigan Ave, Review Date: 10/20/21	345 W Michigan Ave, Review Date: 10/13/21

Community Planning & Economic Development

cokdevelopmentcenter@kalamazoocty.org
 245 N Rose Street, Ste 100
 Kalamazoo, MI 49007
 By appointment only
 3-1-1 or (269) 337-8000
 (269) 337-8513

Rebekah Kik, Director
 Christina Anderson, City Planner
 Roger Iveson, Building Official

Building and Trades
 Code Enforcement
 Community Development

Ability to email city staff and sign up for notifications by neighborhood or for all site plans once posted.

Sustainability Strategy



Sustainability Strategy

Circular food economy

Waste reduction

Sustainable public utilities

Green
Circular
Economy

Accessible
Complete
Network

Sustainable land use

Non-motorized network

Public transit

Green space and tree canopy

Watershed and flooding

Natural features and biodiversity

Community health and resilience

Healthy
Prepared
Community

Affordable
Efficient
City

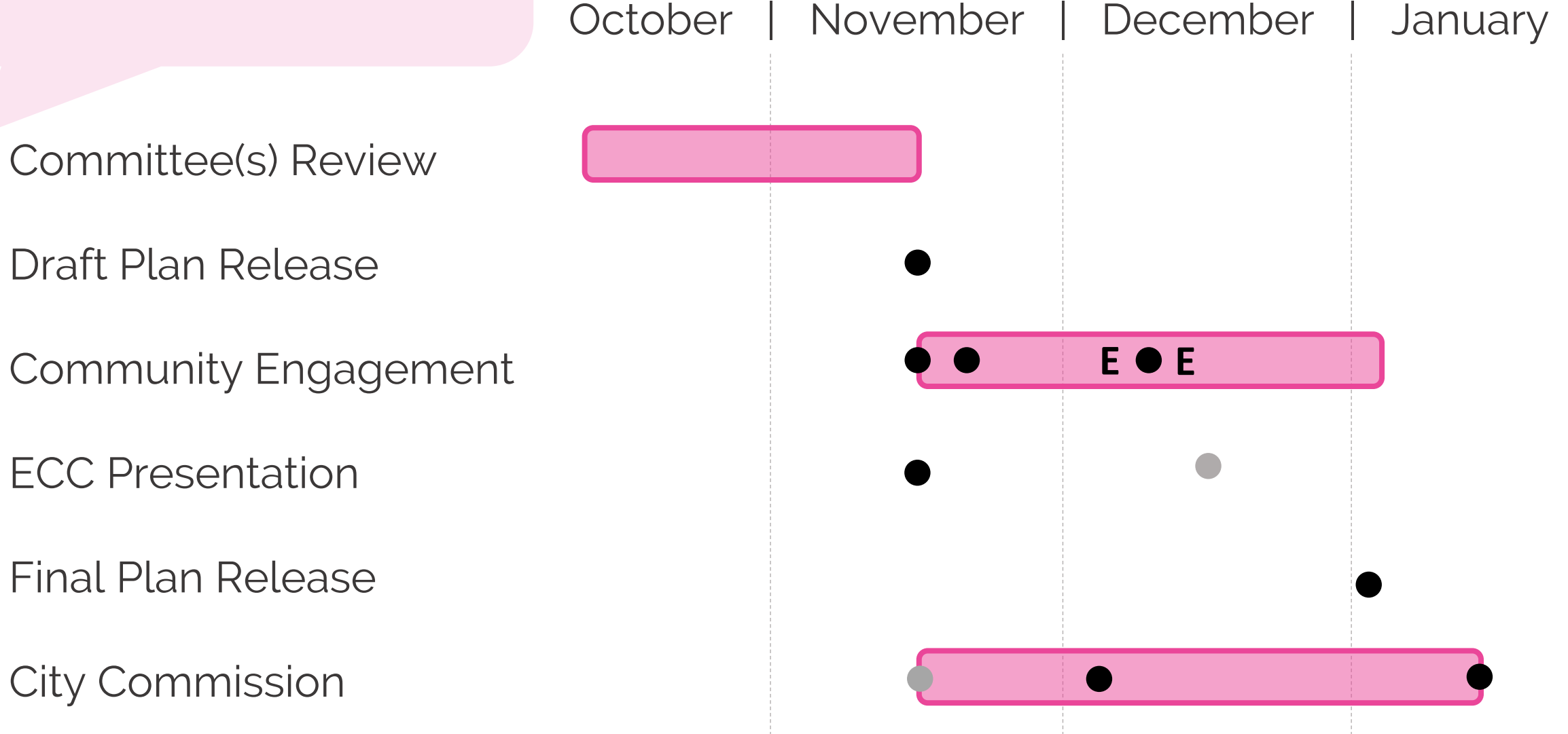
Energy efficiency

Electrification

Renewable energy

Electric vehicles

What's Coming Up



E = *EcoAdapt Workshops*

Get More Information



Visit the Project Website



Sign up for Updates



Download Plan (*mid-Nov*)



Leave a comment

www.ImagineKalamazoo.com/projects/sustainability



imagine kalamazoo 2025

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Kalamazoo Sustainability Strategy

OVERVIEW:

One of 10 main goals in the City's Strategic Vision is Environmental Responsibility. This vision was formalized in the IK 2025 Master Plan and action items were developed as part of [IK @ Work](#). A specific goal in IK @ Work is to, "develop, adopt, and maintain a Climate Action Plan and track progress."

To move this goal forward City staff, stakeholders, and community partners are working to create a Sustainability Strategy which includes actions at the municipal and community levels. A Sustainability Team made up of residents, experts, and City staff will assist in advising the project. The plan will be vetted through the City's Environmental Concerns Committee. The project will incorporate IK @ Work action items, past climate studies, global protocols, best practices, and resident input.

Share any comments or input you have for the Sustainability Strategy here:

Project Timeline



JULY - SEP. 2019

Kick-off Event & Survey

Project kick-off & community sustainability survey launch



OCT. - DEC. 2019

Advisory Team & Neighborhood Meetings

Convened Sustainability Advisory Team & held meetings-on-the-go with neighborhood & community groups



JAN. - MARCH 2020

Survey Analysis & Focus Groups

The community sustainability survey finished and results were analyzed. Started holding focus groups based on theme areas.

CITY OF KALAMAZOO
SITE PLAN REVIEW PROJECT LIST

Year 2021	Project Address	Project Description	Applicant	Property Owner	Pre-App. Received	Pre-App. Meeting	Pre-App. Approval Date	Date Site Plan Rec.	Fee	Committee Meet. Date	Design Review	Site Plan Review Status	Final Site Plan Approval Date	Final Inspect.	Process Issues
2021.4	710 Collins St	Cell Antenna Colocation	Catalyst Network Services	T-Mobile, Central Sprint Spectrum LP	9/22/2021	10/6/2021	10/6/2021	10/15/2021	\$250	11/10/2021	NA	Project Under Review			
2021.39	2839 Millcork St	Cell Antenna Colocation	Crown Castle		4/28/2021	5/19/2021	5/19/2021	10/15/2021	\$250	11/10/2021	NA	Project Under Review			
2021.38	215 E Michigan Ave	Add residential units to 2nd floor	Inform Architecture	215 E Michigan Ave, LLC	7/1/2021	7/21/2021	7/21/2021	9/15/2021	\$250	10/20/2021	DDRC	Project Under Review			Parking Spaces on-street/ FDC location
2021.37	4200 Manchester	Building Addition	Continental Linen Service	Continental Linen Service	8/20/2021	9/1/2021	9/1/2021	9/12/2021	\$500	10/13/2021	NA	Project Under Review			
2021.36	345 W Michigan Ave (AKA 302 Academy)	Nature Playscape	First Congregational Church	First Congregational Church	7/1/2021	7/28/2021	7/28/2021	9/12/2021	\$500	10/13/2021	DDRC	Project Under Review			
2021.35	525 E Kalamazoo Ave	Marihuana Retailer	ACA Finacial Group., LLC	ACA Finacial Group., LLC	8/3/2021	8/18/2021	8/18/2021	9/11/2021	\$250	10/6/2021	DDRC	Site Plan Approved	10/20/2021		Fire Protect window infill
2021.34	2516 Miller	New Pole Building	Ingersoll, Watson & McMachen	2516 Site, LLC	6/28/2021	7/21/2021	7/27/2021	8/28/2021	\$500	9/29/2021	NA	Site Plan Approved	10/19/2021		
2021.33	1430 Alamo	Reuse for Rehab Center	Wighman		NA	NA/ Reapplication of 2020 project delayed by Covid	3/25/2020	8/28/2021	\$250	10/6/2021	NA	Project Under Review			
2021.32	151 S Rose St	Cell Antenna Colocation	Pyramid	Gilmore Real Estate, LLC	6/9/2021	7/7/2021	7/7/2021	7/13/2021	\$250	8/18/2021	NA	Site Plan Approved	9/3/2021		
2021.31	527 Harrison St	A drive-thru to existing business	Mark Smutek	527 Harrison, LLC	2/3/2021	3/24/2021	3/24/2021	6/30/2021	\$250	8/11/2021	RiverFront Overlay	Project Under Review			Easement on west side
2021.3	2605 E Kilgore Rd	New Boiler Building	Zoetis	Zoetis	5/21/2021	6/16/2021	6/16/2021	7/13/2021	\$500	8/11/2021	NA	Project Under Review			WP-O
2021.29	3612 Miller Rd	New Manufacturing Bldg	James L Ware, Trustee	James L Ware, Trustee	2/18/2021	4/28/2021	7/14/2021	7/14/2021	\$500	8/11/2021	NA	Site Plan Approved	9/8/2021		Easement Terminated
2121.28	813 W Kilgore Rd	Cell Antenna Colocation	T-Mobile/ Haley Law Firm, PLC	City of Kalamazoo	4/20/2021	5/5/2021	5/5/2021	6/29/2021	\$250	7/28/2021	NA	Site Plan Approved	7/29/2021		
2021.27	3821 Stadium Dr	AU Maihuana Consumption Lounge	Stonefield Engineering	Spartan Partner Properties, LLC	3/26/2021	4/14/2021	4/14/2021	6/24/2021	\$500	7/21/2021	NA	Project Under Review			
2021.26	1500 N Pitcher St	Building Demolition and Pitcher Street Overhead Crossing	Hurley & Stewart	Graphic Packagin International	4/29/2021	4/29/2021	5/12/2021	6/18/2021	\$250	7/14/2021	NA	Site Plan Approved	8/5/2021		Overhead Right-of-Way Crossing
21021.25	519 W Willard	Cell Antenna Colocation	T-Mobile/ Haley Law Firm, PLC	Cellco Partnership	5/4/2021	5/19/2021	5/19/2021	6/10/2021	\$250	7/7/2021	NA	Site Plan Approved	7/19/2021		
2021.24	3521 E Cork St	New Building for Moving Business	Nederveld, Inc.	HKH Properties	3/15/2021	3/31/2021	3/31/2021	6/10/2021	\$500	7/14/2021	NA	Site Plan Approved	9/24/2021		
2021.23	432 W Paterson	Trailer Storage Lot	Hurley & Stewart	Spur Development, LLC	4/29/2021	5/12/2021	5/12/2021	6/9/2021	\$250	7/7/2021	NA	Site Plan Approved	9/14/2021		Enforcement for Change of Use
2021.22	511 W Paerson	Trailer Storage Lot	Hurley & Stewart	Spur Development, LLC	4/29/2021	5/12/2021	5/12/2021	6/9/2021	\$250	7/7/2021	NA	Site Plan Approved	9/14/2021		Contamination Onsite
2021.21	121 E South Street	Adult Use Marihuana Retailer	William A Kibbe & Associates, Inc.	Peregrine-International, LLC	4/16/2021	5/5/2021	5/5/2021	6/5/2021	\$250	7/7/2021	DDRC	Site Plan Approved	7/29/2021		
2021.2	500 W Crosstown Pkwy	Marihuana Safety Compliance	Bosch Architecture	Frank Newman Enterprises, LLC	4/27/2021	5/19/2021	5/19/2021	5/27/2021	\$250	6/30/2021	NA	Project Under Review			
2021.19	1206 E Crosstown Pkwy	Safety Compliance Center	HCD Properites, LLC	BMR Real Property Management, LLC	4/7/2021	5/5/2021		5/19/2021	\$250	6/30/2021	NA	Site Plan Approved	8/16/2021		
2021.18	2036 Olmstead	Rebuild Pole Buildings	Schupan and Sons, Inc	Schupan & Sons, INC	12/10/2020	12/30/2020	12/30/2020	4/28/2021	\$500	6/23/2021	NA	Project Under Review			Acquiring land to the south
2021.17	2734 Miller Rd	Marihuana Microbusiness	Inform Architecture	Frostiez Farms, LLC	3/30/2021	4/21/2021	4/21/2021	5/17/2021	\$250	6/23/2021	NA	Site Plan Approved	8/12/2021		
2021.16	266 E Michigan Ave	Add apartments to building	266 Michigan Ave LLC	266 Michigan Ave LLC	3/26/2021	4/7/2021	4/7/2021	5/21/2021	\$500	6/23/2021	DDRC/ HDC	Site Plan Approved	8/5/2021		Extends into Alley
2021.15	2411 Parkview Ave	Storage Building - Kzoo Books	Gloria Tiller	Gloria Tiller	4/6/2021	4/28/2021	4/28/2021	5/5/2021	\$500	6/9/2021	NA	Site Plan Approved	7/19/2021		

CITY OF KALAMAZOO
SITE PLAN REVIEW PROJECT LIST

Year 2021	Project Address	Project Description	Applicant	Property Owner	Pre-App. Received	Pre-App. Meeting	Pre-App. Approval Date	Date Site Plan Rec.	Fee	Committee Meet. Date	Design Review	Site Plan Review Status	Final Site Plan Approval Date	Final Inspect.	Process Issues
2021.14	1009 Stockbridge	Change of Use to Community Center	CSM	Urban Alliance	2/22/2021	3/3/2021	3/3/2021	5/6/2021	\$250	6/9/2021	NA	Site Plan Approved	9/8/2021		Parking Lot
2021.13	4037 S Westnedge	AU Marihuana Retailer	QPS Holdings, LLC	Denins Starbuck M & N Development Co.	4/2/2021	4/28/2021	4/28/2021	5/5/2021	\$250	6/9/2021	NA	Site Plan Approved	6/21/2021		
2021.12	3630 Gull Road	AU Marihuana Retailer	Viridis Design	Lyondell Environmental Trust	3/4/2021	3/24/2021	3/24/2021	5/4/2021	\$500	5/26/2021	NA	Site Plan Approved	7/8/2021		Non-Motorized Agreement RCKC
2021.11	303 E Cork St(Multiple Parcels)	Allied Cleanup Site	Tetra Tech	Gillespie Garnett, Rev. Trust	3/19/2021	4/7/2021	4/7/2021	4/30/2021	\$250	5/26/2021	NA	Site Plan Approved	5/27/2021		EAP Lead Cleanup
2021.1	610 E Cork	New Building - Gillespie Maintenance	Gar Gillespie	Consumers Credit Union	3/17/2021	3/24/2021	3/24/2021	4/14/2021	\$500	5/12/2021	NA	Site Plan Approved	6/9/2021		
2021.09	3110 Oakland Dr	New Credit Union / Mixed Use Bldgs	Bosch Architecture	601 Holdings, LLC	11/30/2020	12/30/2020	12/30/2020	3/31/2021	\$500	4/28/2021	NFP	Project Under Review			NFP Required
2021.08	601 Portage	Adult Use Marihuana Retailer/ Grower/ Processor	Yuma Way, LLC		1/19/2021	1/27/2021	1/27/2021	3/30/2021	\$250	4/21/2021	Southtown	Site Plan Approved	5/24/2021		Fire Escape
2021.07	1211 S Westnedge	Change of Use to Dwelling Units (Apartments)	Inform Architecture	Bavasar, LLC	2/11/2021	2/17/2021	2/17/2021	3/18/2021	\$250	4/14/2021	HDC	Site Plan Approved	7/30/2021		
2021.06	104 & 110 N Drake	Adult Use Marihuana Retailer	Rair, INC	Echelon Real Estate, LLC	1/20/2021	2/10/2021	2/10/2021	2/22/2021	\$500	3/17/2021	NA	Site Plan Approved	6/7/2021		RCKC Approval
2021.05	1203 Fourth Street	Marihuana Grow	Friends of the Garden, LLC	Nielsens LLC	10/6/2020	11/18/2020	11/18/2020	2/9/2021	\$250	3/17/2021	NA	Site Plan Approved	5/11/2021		
2021.04	303 Balch	Funeral Home Redevelopment	Intersect Studios	Echols, LLC	8/21/2020	9/9/2020	11/13/2020	1/27/2021	\$500	2/24/2021	NA	Site Plan Approved	4/29/2021		Wellhead Protection/ Easement for use of City Property/ ZBA Approval
2021.03	508 Harrison	Apartment Development with Commercial pad sites	Byce and Associates	City of Kalamazoo Brownfield Authority	10/15/2020	12/2/2020	12/2/2020	1/21/2021	\$500	TBD	NA	Revision Required for Scheduling			ZBA Approval
2021.02	924 Russell	Rebuild of Edison School	Tower Pinkster	Kalamazoo Public Schools	10/2/2020	10/28/2020	10/28/2020	1/15/2021	\$500	2/17/2020	NA	Project Under Review			Environmental Due Care
2021.01	1709 Fraternity Village	Fraternity House	Hurley and Stewart	1701 Fraternity Village, LLC	11/18/2020	12/2/2020	12/2/2020	1/8/2021	\$500	2/3/2021	NA	Site Plan Approved	3/4/2021		
	1628 E Main St.	Pocket Park	Kalamazoo Land Bank	Kalamazoo Land Bank	9/18/2020	9/30/2020	9/30/3030	1/8/2021	\$250.00	2/3/2021	NA	Site Plan Approved	2/11/2021		