

Agenda

Planning Commission

City of Kalamazoo



Wednesday, December 18, 2024 **7:00 PM**
City Commission Chambers – 241 West South Street

A. CALL TO ORDER/ROLL CALL

B. ADOPTION OF FORMAL AGENDA

C. APPROVAL OF MINUTES

1. Approval of Minutes from the Planning Commission meeting on November 7, 2024

D. COMMUNICATIONS AND ANNOUNCEMENTS

E. PUBLIC HEARINGS

F. DISCUSSION/ACTION ITEMS

1. #P.C. #2024.11 - 3301 Tech Circle Drive - Site Plan Review by Planning Commission for Office Building Addition

G. REPORTS

1. City Planner's Report
2. Site Plan List
3. 2025 Planning Commission Meeting Schedule

H. PUBLIC COMMENTS

I. CITY COMMISSION LIAISON COMMENTS

J. PLANNING COMMISSIONER COMMENTS

K. ADJOURNMENT

City of Kalamazoo
PLANNING COMMISSION
Meeting Minutes
November 7, 2024
DRAFT

Members Present: Mitchell Curtiss; Gregory Milliken, Chair; Ian Smith, Wendell Tolber; Brian Pittelko; Michelle Audette-Bauman; Jennifer Swan; *Christine Dascenzo

Members Excused: Shardae Chambers

City Staff: Bobby Durkee, Assistant City Planner; Beth Cheeseman, Executive Administrative Assistant; Charlie Bear, Assistant City Attorney

A. CALL TO ORDER/ROLL CALL

Commissioner Milliken called the meeting to order at 7:00 p.m.

Planner Durkee proceeded with roll call and determined there was a quorum.

B. ADOPTION OF FORMAL AGENDA

Commissioner Swan, seconded by Commissioner Curtiss, moved approval of the November 7, 2024 Planning Commission agenda as presented. With a voice vote, the motion carried unanimously.

*Commissioner Dascenzo entered the meeting at this time.

C. APPROVAL OF MINUTES

Commissioner Swan, seconded by Commissioner Curtiss, moved approval of the October 3, 2024 minutes as presented. With a voice vote, the motion carried unanimously.

D. COMMUNICATIONS AND ANNOUNCEMENTS

None.

E. PUBLIC HEARINGS

None.

F. DISCUSSION/ACTION ITEMS

1. P.C. #2024.10 – 2025 Capital Improvement Plan – Request by Community Planning and Economic Development Department to review the 2025 Capital Improvement Plan (CIP).

Director James Baker, Public Services Director and City Engineer, came forward to present the Capital Improvement Plan (CIP). He shared that many departments are part of the CIP. The CIP covers general

fund, parking, local and major streets, water, and wastewater. Director Baker said they use the Master Plan and community goals to align project focus. He explained how that works within utilities. They are required to submit strategic asset management plans to the State of Michigan. Factors such as infrastructure, criticality, reliability, and risk/likelihood of failure all go in a matrix to decide the projects. Director Baker said the township submits their Master Plan to them so the City water and wastewater work can also reflect township Master Plan goals. He said that focus elements are guided by Master Plans, Imagine Kalamazoo plans, and asset management plans.

Director Baker explained that the first couple of years of projects in the CIP are very solid and likely to happen. As the years go out, there may be a shift in the priority of projects. He indicated that they have a CIP execution rate of 70-80%. Director Baker shared some of the reasons there may be delays in projects: taking longer to get through the permitting process, getting easements, purchases falling through, or a change in priority. Director Baker shared how to read the CIP.

Director Baker reviewed projects included in the CIP in each of the following areas: General Fund, Parking, Streets: Major & Local, Water, and Wastewater. He noted that the City had taken over the parking system, and that stormwater is a part of the streets projects. Director Baker also said that water and wastewater are true utilities. He stated that no taxpayer dollars go to support these projects – they are all paid by rates. Director Baker reviewed a bar chart of CIP funds for 2025. Some of the projects he spoke about included the Farmers Market multipurpose building, Crosstown Facilities (where Community Planning and Economic Development is scheduled to move), two-way street projects, the tertiary treatment system, lining pipes, possible biosolids alternatives, and lead service line replacements.

Commissioner Pittelko asked about the full water main construction projects scheduled for the next year. Director Baker mentioned that full water main reconstruction projects will occur on Burdick Street from Reed to Vine, on Porter from Kalamazoo Avenue to Ransom, and on West Main from Drake to 131. He said there would be two other projects in Richland. The area in and around Edison will have some construction saturation with water projects and Consumer's gas line replacements.

Commissioner Audette-Bauman asked if there was a map of all the projects on the City's website. Director Baker affirmed that they are working on a single-layer map that will include City projects, Consumer's gas projects, developers' projects, and fiber projects. He said it is in beta test form now. They are hoping to have it go public before the construction season next year (April/May timeframe).

Commissioner Audette-Bauman asked about the revenue from parking. She noticed that sources of funding for parking say bond/working capital reserve. Director Baker stated that the current revenue received from parking is not enough to support the parking fund.

Commissioner Dascenzo wondered what to make of the projects with no funding associated. Director Baker said those could be projects that have already been completed or are funded out for more than 5 years.

Commissioner Milliken thanked Director Baker for the background and details. He thought it was unusual to see this level of continued investment in infrastructure. The link and alignment to the Master Plan is rare. Commissioner Milliken explained that the Planning Commission reviews the CIP to make sure there is alignment with the Master Plan. He asked Attorney Bear if the Commission needed to make a motion recommending approval, or do they just receive the information. Attorney Bear responded that the Planning Commission was just receiving the information.

G. REPORTS:

1. City Planner's Report

Planner Durkee stated he would have the tentative 2025 Planning Commission meeting dates available at the December meeting. He requested they look at the July dates.

Planner Durkee thanked the Commissioners for their responses regarding a joint training meeting. The training meeting is scheduled for December 11, 2024 at 7pm in the City Hall Community Room. He said the topic would be economic development and planning.

Planner Durkee shared that they were nearing the end of the Imagine It phase of Imagine Kalamazoo. The Plan It phase will start in February. There are book reads scheduled for November 20, and December 10.

H. PUBLIC COMMENTS:

Commissioner Milliken gave information on how to offer public comment.

Ms. Montoya Sims came forward and spoke about Policy 10.1 and Policy 10.6. She spoke about injustice and unlawful practices through the Kalamazoo court system and police department. Ms. Sims stated that she does not have a criminal background. She felt there was retaliation against her for a civil case she won. She indicated that crimes were being committed by the courts and officers. Ms. Sims requested that the Mayor investigate the situation.

No phone comments.

I. CITY COMMISSION LIAISON COMMENTS

Commissioner Praedel thanked the City Clerk office team for how hard they worked on the election. He shared that there were two Imagine Kalamazoo 2035 survey opportunities for the public. They can participate in the Strategic Goal Survey and the Imagine It! Survey. Both can be found at the following location: <https://www.kalamazoocity.org/Government/Programs-Initiatives/Imagine-Kalamazoo>.

J. MISCELLANEOUS COMMENTS BY PLANNING COMMISSIONERS

Commissioner Milliken encouraged everyone to enjoy the month of November.

K. ADJOURNMENT

Commissioner Milliken adjourned the meeting at 7:54 pm.



Planning Commission Staff Report

City of Kalamazoo

Date: **12/18/2024**

Item: **F.1.**

TO: City of Kalamazoo Planning Commission

FROM: Reviewed by: Christina Anderson, AICP, City Planner
Prepared by: Bobby Durkee, AICP, Assistant City Planner

DATE: December 18, 2024

SUBJECT: #P.C. #2024.11 - 3301 Tech Circle Drive - Site Plan Review for Office Building Addition

BACKGROUND:

SME a consulting, engineering and testing company with offices throughout the Midwest, including their location at 3301 Campus Drive in an existing facility, located in the WMU Business Technology and Research (BTR) Park. This property and the entire BTR Park is zoned Commercial, Business Technology & Research District (CBTR), which was established to provide a high-quality working environment for research and development institutions, offices and specialized production and assembly uses. The CBTR zone is unique in that it requires the Planning Commission's review in addition to the review and approval of the Site Plan Review Committee. This property is also within the Natural Feature Protection (NFP) Overlay District, which requires additional board review by the NFP Review Committee. Prior to obtaining permits for construction, this expansion requires the following steps.

1. Pre-Site Plan Review - ***Reviewed October 30, 2024***
2. NFP Review Committee - ***Reviewed November 26, 2024***
3. Planning Commission
4. Western Michigan BTR Park Review Committee (Pending)
4. Full Site Plan Review (Application made after Planning Commission decision)
5. Permitting & Construction

A pre-site plan review of the expansion was conducted by the Site Plan Review Committee and comments were provided by the Site Plan Review Committee on the items reviewed during the October 30th, 2024 meeting. Attached are the applicants' responses to the pre-site plan along with an updated site plan addressing those comments. The NFP Review Board reviewed the site plan presented their plan at the November 26, 2024 meeting. At the NFP Review Board meeting, the site plan was approved for its impacts on the natural features and placed the following conditions on the approval.

- Obtain Full Site Plan Approval
- Evaluate landscaping list to swap natives with more native species
- Utilize different species of native trees for replacement plantings as Beech Trees are on the decline due to Beech Bark Disease and may not last
- A large, protected tree, a Beech Tree, is proposed to be protected during construction, however, it's close to the existing building. The board recommended it be safer and easier to remove that tree as it cannot be fully protected with tree protection fencing during construction and it would be better to plant more replacement trees.

8.3 H (7) of the Zoning Ordinance outlines the standards of approval of a site plan. This comprehensive set of standards is reviewed by the Site Plan Review Committee for each site plan through the typical two meeting process. When in the NFP Overlay, and impacting natural features, the NFP Review Board reviews the site plan as well according to the Chapter 50 Zoning Ordinance Section 6.2K(1)(b) of the NFP Overlay Zoning standards. With the conditions on species and replacement trees, the Community Planner Nolan Bergstrom will confirm these items on the plan set submitted for full site plan review.

The site plan currently addresses the pre-site plan comments and final details of design and results of soil testing in support of the design will be confirmed with the full site plan submittal. If approved, the applicant would return the full site plan and checklist to be reviewed for site plan approval. The applicant will be able to address the NFP Review Board through the site plan returned for full site plan review to the Site Plan Review Committee. With the review body approvals in place, the site plan approval letter would be issued once the Site Plan Committee has signed off on the site plan after completing the full site plan review step.

STRATEGIC VISION ALIGNMENT:

Strategic Goal Impact:

Good Governance- Ensuring the City organization has the capacity and resources to effectively implement the community's Strategic Vision in a way that is sustainable over the long term.

Environmental Responsibility - A green and healthy City.

Economic Vitality - A supportive infrastructure for growing businesses and stabilizing the local economy for the benefit of all.

The former Lee Baker Farm which was developed into the BTR Park included the level of review to ensure a balance was struck between the economic development, suitability and the needs of the neighborhood. Since the zone was established in 1999 this more comprehensive review has helped sustain that balance in this western portion of Parkview Avenue in the City limits.

COMMUNITY ENGAGEMENT:

Appropriate Depth of Engagement

Inform (one-way conversation) – no feasible alternatives available due to legal/regulatory restrictions, standards and best practices, or resource limitations; the community will be made aware of the project.

Discussion: This site plan will be reviewed in two public meetings. In addition the full site plan, while under review, will be posted on the City website and available for any interested citizen.

FINDINGS:

After review of the proposed expansion by the first Site Plan Review Committee, the NFP Review Board Review and staff assessment, this plan is well-developed and well positioned for approval by the Site Plan Review Committee. Any feedback, comments or considerations from the Planning Commission can be shared with the Site Plan Review Committee for the review of the full site plan.

RECOMMENDATION:

It is recommended that the Planning Commission approve the site plan for the expansion of the existing facility at 3301 Tech Circle Drive with the condition it obtain full site plan approval from the Site Plan Review Committee



Community Planning & Economic Development

245 N. Rose Street, Suite 100 • Kalamazoo, MI 49007

(269) 337-8026 • www.kalamazoocity.org

PLANNING COMMISSION APPLICATION

APPLICANT INFORMATION			
Name: AR Engineering attn: Thomas Carpenter		Mailing Address: 5725 Venture Park Drive, Suite A	
City: Kalamazoo		State: Mi	ZIP Code: 49009
Phone: 269-250-5991	Email: thom@arengineeringllc.com	Preferred Contact: ☒ Email ☐ Phone	
PROPERTY OWNER INFORMATION			
<i>If the applicant is not the property owner, owner must sign application or provide a letter stating that owner gives consent for the application to be filed.</i>			
Name: SME Real Estate Holdings, Inc.		Mailing Address: 43980 Plymouth Oaks Blvd	
City: Plymouth		State: Mi	ZIP Code: 48170
Phone:	Email:	Preferred Contact: ☐ Email ☐ Phone	
PROPERTY INFORMATION			
Property Address(s): 3301 Tech Circle Kalamazoo, Mi 49008			
Parcel Identification Number(s): 06-31-104-002		Zone District (kalamazoocity.org/maps):	
TYPE OF REQUEST			
☐ Rezoning ☐ Text Amendment (Chapter(s) _____, Section(s) _____) ☐ Special Use Permit		☐ Planned Unit Development (PUD) ☐ Preliminary Subdivision ☐ Right of Way Vacation	
Description: Site plan required by planning commission in CBTR Zone.			
ATTACHMENTS			
☐ \$ _____ Fee		☐ Completed Review Sheet	
☐ Other documents or engagement information <i>Note: 10 days before meeting provide update on outreach to neighbors or provide any letters of support</i>			
SIGNATURE			
Signature of Applicant: <i>Thomas Carpenter</i>		Date: <i>11/12/24</i>	
Signature of Owner (if different than applicant): <i>John Smith</i>		Date:	

SME ADDITION

Site Plan Review
to
City of Kalamazoo Planning Commission
Received November 12, 2024

**3301 TECH CIR KALAMAZOO 49008
SECTION S31, T.T2S, R.R11W
CITY OF KALAMAZOO
KALAMAZOO COUNTY, MI**

SITE DEVELOPMENT PLANS NOVEMBER 7, 2024

ISSUED FOR: SITE PLAN REVIEW

SHEET INDEX

No.	SHEET TITLE
T1.0	TITLE SHEET
C1.0	EX CONDITIONS - DEMO PLAN
C2.0	SITE LAYOUT
C3.0	UTILITY PLAN
C4.0	GRADING - SECC PLAN
C5.0	DETAILS
L1.0	LANDSCAPE PLAN

REVISIONS

No.	ISSUED FOR:	DATE:	BY:
0	OWNER REVIEW	09/16/24	sp
1	SITE PLAN REVIEW	10/20/24	sp
2	CITY COMMENTS	11/07/24	sp
3	-	-	-
4	-	-	-
5	-	-	-

OWNERS:

SME REAL ESTATE HOLDINGS, INC
43980 PLYMOUTH OAKS BLVD
PLYMOUTH, MI 48170

DEVELOPER:

GLAS ASSOCIATES
6339 STADIUM DRIVE
KALAMAZOO, MI 49009
TEL. (269) 353-7737

CIVIL ENGINEER:

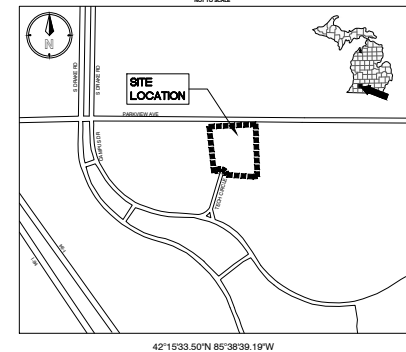
AR ENGINEERING, LLC
5725 VENTURE PARK DRIVE, SUITE A
KALAMAZOO, MI 49009
TEL. (269) 250-5981 FAX. (269) 569-0004



---, P.E.

DATE

LOCATION MAP NOT TO SCALE



LEGAL DESCRIPTION

PARCEL #: 06-31-104-022

WARRANTY DEED, KALAMAZOO COUNTY RECORDS, DOCUMENT NO. 2005-053272:

PROPERTY LOCATED IN THE CITY OF KALAMAZOO, COUNTY OF KALAMAZOO AND STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:

UNIT 22 OF WESTERN MICHIGAN BUSINESS, TECHNOLOGY AND RESEARCH PARK, ACCORDING TO THE MASTER DEED RECORDED AT DOCKET NO. 2001-018722, THE FIRST AMENDMENT TO MASTER DEED RECORDED IN DOCKET NO. 2002-003549, THE SECOND AMENDMENT TO MASTER DEED RECORDED IN DOCKET NO. 2003-091556, AND THE THIRD AMENDMENT TO MASTER DEED RECORDED IN DOCKET NO. 2005-022027, DESIGNATED AS KALAMAZOO COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 134, TOGETHER WITH RIGHTS IN COMMON ELEMENTS AS SET FORTH IN THE MASTER DEED AND AS DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF 1917, AND AMENDMENTS THERETO.

UTILITY CONTACTS

CABLE	CHARTER COMMUNICATIONS 5095 CENTURY AVE, SUITE A KALAMAZOO, MI (888) 456-7063	TELEPHONE	CHARTER COMMUNICATIONS 5095 CENTURY AVE, SUITE A KALAMAZOO, MI (888) 456-7063
WATER	CITY OF KALAMAZOO WATER & SEWER 415 E STOCKBRIDGE AVE KALAMAZOO, MI 49001 (269) 337-8000	SEWER	CITY OF KALAMAZOO WATER & SEWER 415 E STOCKBRIDGE AVE KALAMAZOO, MI 49001 (269) 337-8000
GAS	CONSUMERS ENERGY 2500 EAST CORK ST KALAMAZOO, MI 49001 (800) 477-5050	ELECTRIC	CONSUMERS ENERGY 2500 EAST CORK ST KALAMAZOO, MI 49001 (800) 477-5050
		INDIANA	811

DEMOLITION NOTES

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, 1/4" SCALE METRIC EXPOSURE, PERMANENT UTILITY AND OFFICE, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO: THOSE REQUIRED BY THE CITY OF KALAMAZOO, MICHIGAN AND KALAMAZOO COUNTY.
3. CONTRACTOR SHALL BE AT 11:00 AM AND 11:15 AM LOCATION OF UNDERSTANDING UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY UTILITIES. UTILITY OWNERS WHO ARE NOT PART OF THE 911 ALERT SYSTEM, THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
4. DEMOLITION TO REMAIN ALL EXISTING SITE FEATURES AS REQUIRED.
5. ALL SOIL EXCAVATION CONTRACT MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION.
6. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.
7. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
8. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
9. ANY DISTURBED AREA WHICH WILL BE LEFT UNIMPROVED 15 DAYS LONGER MUST BE SEEDING TO STABILIZE IMMEDIATELY FOR TEMPORARY STABILIZATION. SEEDING TO BE SEEDING AND MULCH/BLANKET APPLIED IMMEDIATELY TO PROVIDE A LEVEL GRASS AND MOISTURE RETENTION.
10. REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SHOW FENCE AROUND ALL AREAS REQUIRING PROTECTION. SHOW FENCE SHALL BE PLACED AT EDGE OF GRIP LINE.
11. SAWCUT ALL CURBS, SIDEWALKS AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
12. ALL REMOVALS SHALL BE TAKEN OFF SITE AND DISPOSED OF PROPERLY. NO STOCKPILING OR BURNING OF DEBRIS IS ALLOWED.
13. ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
14. REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
15. REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING LIMBS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
16. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINAGE AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE PROPERTY OWNER.
17. BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
18. CONTROL SHALL BE MAINTAINED OVER THE SITE AND OPERATION TO ELIMINATE HAZARDS TO THE PUBLIC. MAKE UP OTHER PRE-EXISTING TREES AND CURBS AND SIDEWALKS SHALL BE PROTECTED FROM DAMAGE. THE PERSON RESPONSIBLE FOR THE DEMOLITION WORK SHALL BE LIABLE FOR ANY AND ALL DAMAGE TO CURBS, STREETS, SIDEWALKS AND OTHER PUBLIC OR PRIVATE PROPERTY AND FOR ANY BODY INJURY OCCURRING AS A RESULT OF THE DEMOLITION WORK.

LEGEND

- PAVEMENT REMOVAL
- SAWCUT
- TREE REMOVAL
- REMOVE
- PROTECT
- LIMITS OF CONSTRUCTION
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- TREE PROTECTION FENCE

STORM STRUCTURE INFORMATION

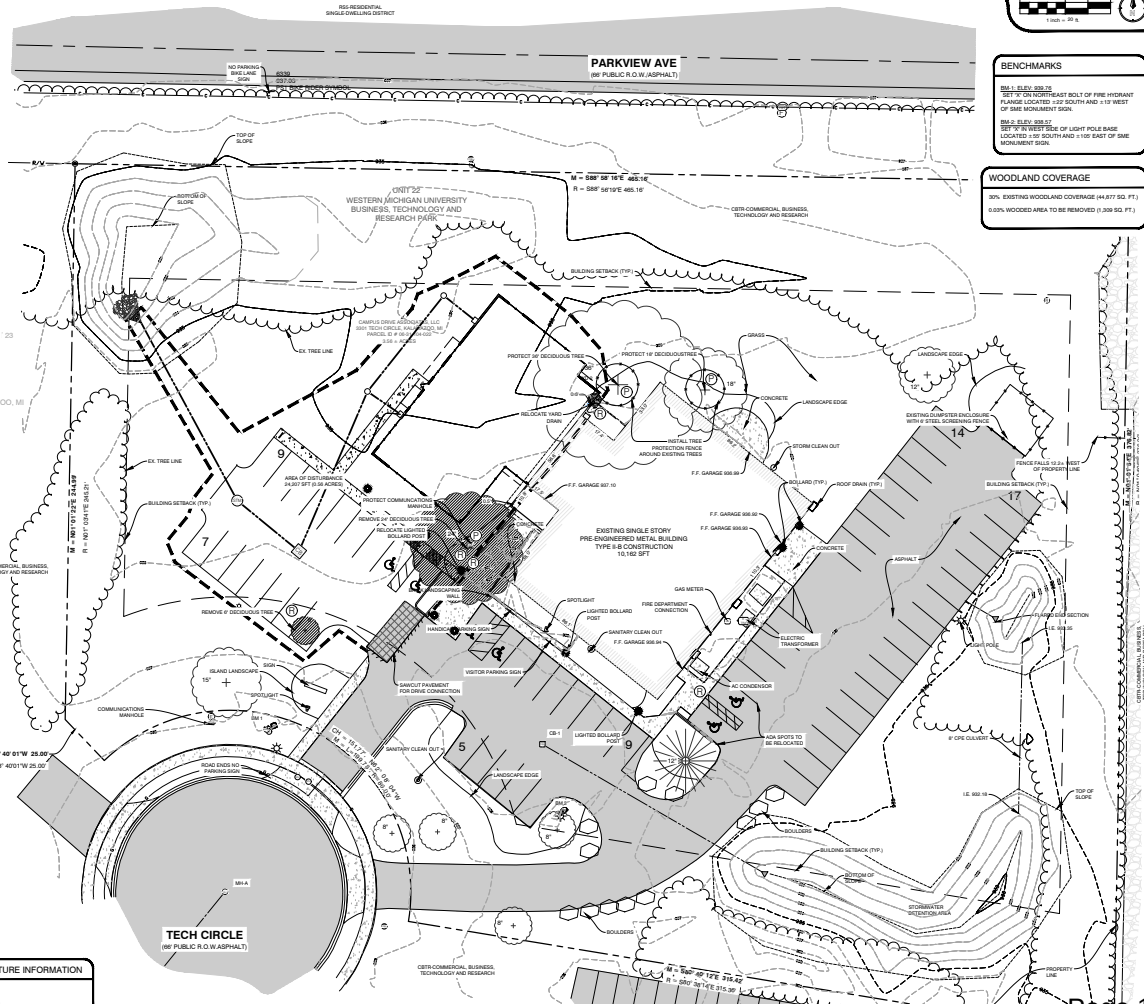
- CR-1, 2, 3 CONC. STRUCTURE
- MANHOLE
- SIZE OF CRP (IN) - (OD) (IN)
- DEPTH - (FEET)
- 10-2
- MANHOLE - 10-2
- NO PIPES VISIBLE



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM AVAILABLE RECORDS AND FIELD SURVEY. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY AN ENGINEER.

SANITARY STRUCTURE INFORMATION

- MANHOLE
- CONC. STRUCTURE
- MANHOLE
- DEPTH (FEET) (IN) - (OD) (IN)



BENCHMARKS

BM-1: 565.00 ±
 SET 1" X 6" CORNER BOLT OF FIRE HYDRANT
 FLANGE LOCATED 1.00' SOUTH AND 1.10' WEST
 OF S&E MONUMENT SIGN.

BM-2: 565.00 ±
 SET 1" X 6" CORNER BOLT OF LIGHT POLE BASE
 LOCATED 1.00' SOUTH AND 1.10' EAST OF S&E
 MONUMENT SIGN.

WOODLAND COVERAGE

30% EXISTING WOODLAND COVERAGE (4,877 SQ. FT.)
 0.00% WOODLAND AREA TO BE REMOVED (1,308 SQ. FT.)

PLANS PREPARED BY:

AS ENGINEERS

10000 Lakeside Blvd., Suite 100
 Kalamazoo, MI 49001-1000
 (269) 336-1000
 www.as-engineers.com

DESIGN: BAP
 CHECKED: JAP

DATE	BY	REVISION
08/04/24	JAP	1.0
08/04/24	JAP	2.0
08/04/24	JAP	3.0
08/04/24	JAP	4.0
08/04/24	JAP	5.0
08/04/24	JAP	6.0
08/04/24	JAP	7.0
08/04/24	JAP	8.0
08/04/24	JAP	9.0
08/04/24	JAP	10.0

EXISTING CONDITIONS AND DEMO

GLAS ASSOCIATES
 3301 TECH CIRCLE DR
 KALAMAZOO, MI 49001-1000
 SECTION 31.725, 31.71W

JOB NUMBER
 24116002

DATE
 11/07/2024

SHEET NUMBER
 11/07/2024

SITE DATA

- PROPERTY INFORMATION:
PARCEL #S: 00-01-104-022
SITE AREA: 146,346 SF (3.4 AC)
- OWNER: S&B REAL ESTATE HOLDINGS, INC.
3000 N. 10TH STREET SUITE 200
PLYMOUTH, MI 48170
- DEVELOPER: GLAS ASSOCIATES
4000 W. 10TH STREET
KALAMAZOO, MI 49009
- ZONING: PRIORITY CURRENTLY ZONED:
CENTR. COMMERCIAL, BUSINESS,
TECHNOLOGY AND RESEARCH
ADJUTING PROPERTY CURRENTLY ZONED:
NORTH: RES-RESIDENTIAL SINGLE-DWELLING
DISTRICT
SOUTH: CENTR. COMMERCIAL, BUSINESS,
TECHNOLOGY AND RESEARCH
EAST: CENTR. COMMERCIAL, BUSINESS,
TECHNOLOGY AND RESEARCH
WEST: CENTR. COMMERCIAL, BUSINESS,
TECHNOLOGY AND RESEARCH
- SETBACKS:
FRONT: 30'
SIDE: 20'
REAR: 30'
- PARKING:
REQUIRED = 21 PARKING SPACE PER 1000 SF
OF GROSS FLOOR AREA
EXISTING: 45
PROPOSED: 1,124 SPT. 16
PROVISIONS = 15 PARKING: 1000 SPACES = 16
BARRIER FREE SPACES = 16
TOTAL PROVISIONS: 32
- BUILDING:
MAXIMUM HEIGHT: 30'
TOTAL AREA OF 11,124 SPT (SEE FLOOR PLAN AND
BLANK PAGE FOR MORE DETAIL)
MAXIMUM IMPERVIOUS COVERAGE: 70%
PROPOSED IMPERVIOUS COVERAGE: 34.4%
PROPOSED BUILDING COVERAGE: 10.4%
- LOT:
MINIMUM LOT SIZE: N/A
MINIMUM LOT WIDTH: N/A
LOT SIZE: 146,346 SF (3.4 AC)
LOT DIMENSIONS: IRREGULAR
- STORM WATER DETENTION REQUIRED:
STORM WATER MANAGEMENT SHALL BE IN
ACCORDANCE WITH CITY STORM WATER
GUIDELINES.

LEGEND

- ASPHALT PAVEMENT
(SEE DETAIL ON C5.0)
- CONCRETE PAVEMENT AND SIDEWALK

SITE PLAN NOTES

- ASPHALT PAVEMENT (SEE DETAIL SHEET C5.0)
- INTERIOR CURB/VALE (SEE DETAIL SHEET C5.0)
- DOWNDROUT (TYP)
- IF BARRIER CURB - MOOT E2 (SEE DETAIL SHEET C5.0)
- LIGHTED BOLLARD POST (H) (SEE DETAIL SHEET C5.0)
- PROPOSED LIGHT POLE
- GLASS RAMP (SEE DETAIL SHEET C5.0)
- BIKE RACK (SEE DETAIL SHEET C5.0)

GENERAL NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE SUBJECT TO THE INTERPRETATION OF THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REVISION MAY OCCUR.
- ALL CURB RIMS AND DIMENSIONS ARE TO FACE OF CURB. CURB TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PARKING DOGS.
- SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. NORMAL GRADING, SLOPE SIDEWALKS AWAY FROM BUILDING AT 1/4" PER FOOT ON ENTRY WALK.

PARKVIEW AVE
(BY PUBLIC R.O.W. ASPHALT)



BENCHMARKS

BM 14.165 (3.0)
10.0' ON NORTHEAST BOLT OF FIRE HYDRANT
PLUMB LOCATED 1/2' SOUTH AND 5.13' WEST
OF S&B MONUMENT SIGN.
BM 14.165 (3.0)
10.0' ON WEST SIDE OF LIGHT POLE BASE
LOCATED 100' SOUTH AND 110' EAST OF S&B
MONUMENT SIGN.

PLANS PREPARED BY:



Robert J. Glas, P.E., P.L.A.
Principal Engineer/Architect
Kalamazoo, Michigan

DESIGN: 849
CHECKED: 75

NO.	DATE	ISSUED FOR:
1	06/04/24	S&B
2	06/04/24	REVISION
3	06/04/24	CITY COMMENTS
4	06/04/24	CITY COMMENTS
5	06/04/24	CITY COMMENTS

SITE LAYOUT
GLAS ASSOCIATES
3301 TECH CIRCLE DR
KALAMAZOO, MI
SECTION 31.725, 31.71W.

PROJECT:
CITY:

JOB NUMBER
24116002

DATE
11/07/2024

SHEET NUMBER



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL SURVEY INFORMATION AND PUBLIC RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY AN ENGINEER.

[illegible][illegible]

A 12" FLARED END SECTION WITH RIP RAP AND REFUSE SCREEN. I.E. 903.01

B DOWNSPOUT (TYP)

C STORM CLEAN OUT (SEE DETAIL SHEET C5.0)

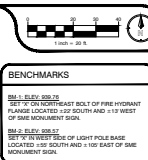
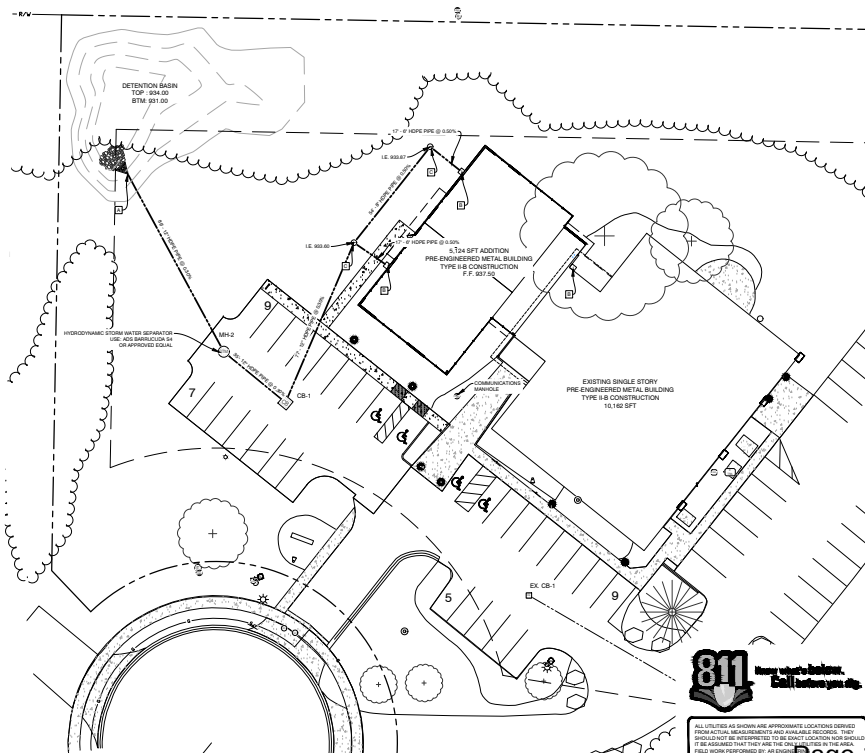
CB-1, 4' DIA. E-W 5105	
RM = 935.87	
12" HDPE W	933.37
12" HDPE NW	933.37
MH-2, 4' DIA. E-W 5105	
RM = 935.82	
12" HDPE E	933.27 *
12" HDPE NW	933.27

* ALL STRUCTURES HAVE 2' SUR
 ** ADS BARRICUDA 54

EX. CB-1, 2' CONC. STRUCTURE
RIM = 935.03
ESE 12" CPE (INV. = 932.08)
SUMP = 931.78

YD-2
RIM = 935.69
NO PIPES VISIBLE

MM-A, 2' CONC. STRUCTURE
FEM = 923.02'
55W 1.2" PVC (INV. = 923.07')



PLANS PREPARED BY:



will@khan.org | Feedback | Help Us |
2014-2015 Khan Academy | Privacy Policy

CRANE	SAP
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CHECKED	TC
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No.	ISSUED FOR:	DATE	BY
0	OWNER REVIEW	02/16/24	SAP
1	SITE PLAN REVIEW	10/06/24	SAP
2	CITY COMMENTS	11/07/24	SAP
3			
4			

UTILITY PLAN
GLAS ASSOCIATES
3301 TECH CIRCLE DR
KALAMAZOO, MI

1000

JOB NUMBER
01110000

DATE _____

QUESTIONS

811 Know what's below.
Call before you dig.

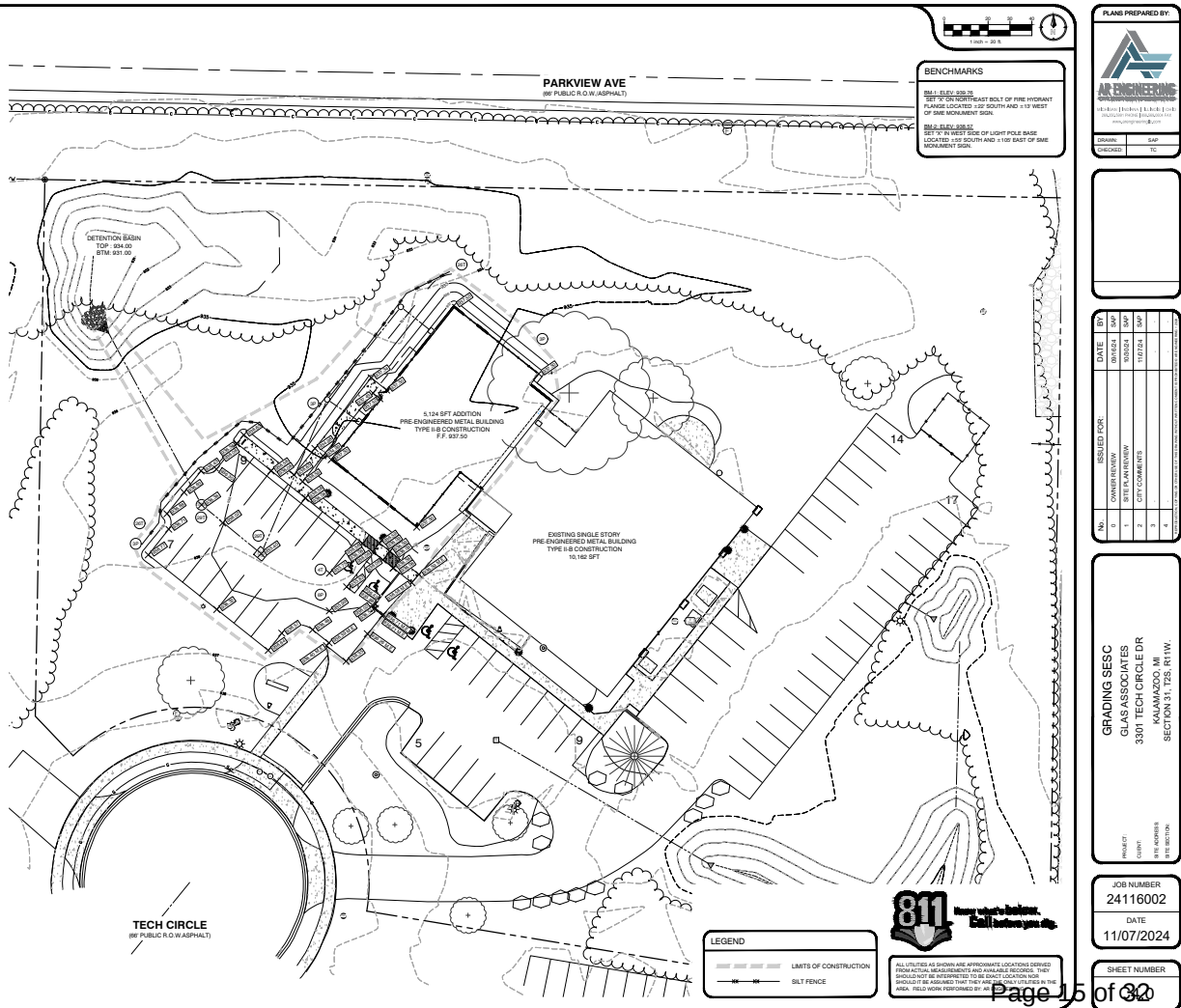
ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETTED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AN ENGINEER

SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH MOST AGES. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A SOIL EROSION PERMIT FROM THE COUNTY AND A PERMIT BY THE DEPARTMENT OF ENVIRONMENT FROM THE CITY OF KALAMAZOO PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY SOIL EROSION PERMIT AND THE CITY OF KALAMAZOO. EROSION CONTROL MEASURES SHALL BE INSTALLED BY THE PERMIT BY RULE. EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
2. EROSION CONTROL MEASURES SHALL BE MAINTAINED OR EXISTING VEGETATED TOPSOIL OR BARE COVER. THESE COVER AREAS ACT AS SEDIMENT PITS.
3. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FIRMING, CLEANUP AND APPROVAL.
4. GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WATERBODIES. SILT FENCE SHALL BE INSTALLED TO PREVENT EROSION AND SEDIMENT AS DIRECTED BY THE ENGINEER. SEDIMENT AND/OR ROCKING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
5. MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.
6. NUMBER IN CIRCLE REFERS TO NUMBERED DETAILS. MOST STANDARD PLAN R-40. SOIL EROSION & SEDIMENTATION CONTROL MEASURES "I" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS SPECIFY MEASURES AS FOLLOWS: MEASURES REQUIRED AS DESCRIBED BELOW.
 - 1. DENOTES PERMANENT SEDIMENT. ALL DISTURBED AREAS NOT PAVED OR GRAVELLED SHALL BE PROTECTED BY PLACE TOPSOIL, SURFACE, SAND, 8 INCH, WHOLE, SEDIMENT, STRUCTURE UP APPLICABLE AT A RATE OF 200 LBS PER 1000 SQ YD. A 10' X 10' AREA SHALL BE USED TO PROTECT THE EROSION, LAUNCH, BENCH, AND A RATE OF 2 TONALCE AND MACH ANCHORING (APPLIES TO EROSION PROJECT).
 - 2. DENOTES TEMPORARY SEDIMENT. TEMPORARY SEDIMENT SHALL BE PLACED AT LOCATIONS DETERMINED BY THE ENGINEER IN THE FIELD AND SHALL INCLUDE GENERAL PITS USED APPLICABLE AT A RATE OF 10 LBS PER 1000 SQ YD.
 - 3. DENOTES DUST CONTROL. DUST CONTROL MAY BE REQUIRED ON THE SUBGRADE CONSTRUCTION AND WILL INCLUDE APPLYING FRESH WATER TO BE INCLUDED IN THE FIRM OF EMBANKMENT. DUST CONTROL ON THE AGGREGATE BASE COURSE WILL BE ACCOMPLISHED BY APPLYING FRESH WATER INCLUDED IN THE FIRM OF AGGREGATE BASE. 4 INCH AND APPLYING DUST PALLIATIVE, APPLIED, CALC, FIRM AS DIRECTED BY THE PROJECT ENGINEER.
 - 4. DENOTES AGGREGATE COVER/PERMANENT PAVEMENT RESTORATION.
 - 5. DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MANAGE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MINIMUM OF 12' WIDE, 6" DEEP, AND CONSIST OF 2" OF AGGREGATE.
 - 6. DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL RETAINED AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.
 - 7. DENOTES BUILT PROTECTION FENCE DROPP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM DROPS SUBJECT TO PROVIDE SETBACK AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE POND.
 - 8. DENOTES MULCH BLANKET OR MATINGS. SHALL BE NORTH AMERICAN GRASS 20110, OR APPROVED EQUAL. MULCH BLANKETS SHALL BE PLACED ON ALL 1:3 SLOPES OR GREATER, IN AND AROUND DITCH BOTTOMS WHERE THERE IS NO BURNABLE BY CONSTRUCTION RESPONSIBLE FOR RESTORING THAT AREA.

GRADING NOTES

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEE, WATER SERVICE, PERMANENT UTILITY APPLICATIONS, BENCH, AND OTHERS REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
3. CONTACT "MSS D15 11" AT 1-800-485-7171 FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48" DEEP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE "T" UTILITY ALREADY EXISTING. THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "T" UTILITY ALREADY EXISTING. THE CONTRACTOR SHALL CONDUCT THE UTILITY LOCATION SURVEY AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
4. DEMOLISH AND REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
5. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.
6. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL, (SLOPE UNLESS OTHERWISE NOTED).
7. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
8. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.
9. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
10. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SHEET IMMEDIATELY IF OCCURS.
11. ANY DISTURBED AREA WHICH WILL BE LEFT UNOCCUPIED OR OPEN FOR LONGER MUST BE SEEDS TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION, BARRING TO BE SEEDS AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.



PLANS PREPARED BY:



DESIGN: [Signature]
CHECKED: [Signature]
DATE: 01/04/24

DATE	BY	REASON FOR
01/04/24	MAP	OWNER REVIEW
01/04/24	MAP	OWNER REVIEW
01/04/24	MAP	CITY COMMENTS
01/04/24	MAP	CITY COMMENTS
01/04/24	MAP	CITY COMMENTS

GRADING & EROSION CONTROL ASSOCIATES
3301 TECH CIRCLE DR
KALAMAZOO, MI 49001
SECTION 31, T2S, R17W

JOB NUMBER

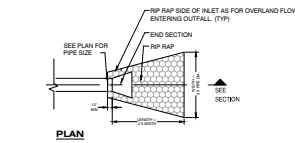
24116002

DATE

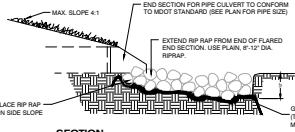
11/07/2024

SHEET NUMBER

15 of 30

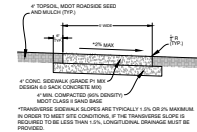


PLAN



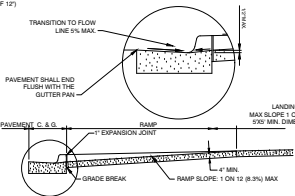
SECTION

PIPE CULVERT WITH FLARED END SECTION DETAIL



6' WIDE SIDEWALK SECTION

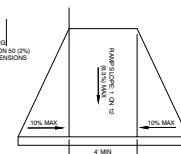
TO SCALE



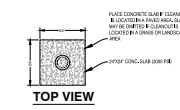
SECTION VIEW

BARrier FREE CURB CUT

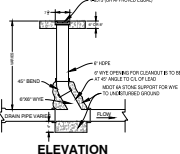
TO SCALE



PLAN VIEW



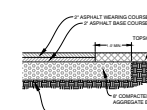
TOP VIEW



ELEVATION

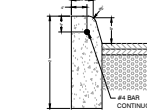
STORM DRAIN CLEANOUT DETAIL

TO SCALE



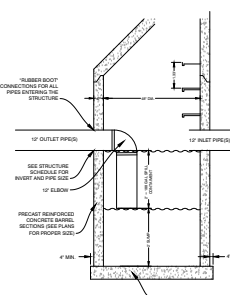
ASPHALT SECTION

TO SCALE



E2 CURB DETAIL

TO SCALE



CR-1 CATCH BASIN DETAIL

TO SCALE

M-Racks

2 to 5 Hump, Surface Mount

- Specifications -

Rev. 20/04/19

Model: 850060
2-Hump, Surf. Mt.
Capacity: 3 to 5 Bikes



Model: 850080
3-Hump, Surf. Mt.
Capacity: 5 to 7 Bikes



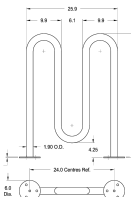
Model: 850090
4-Hump, Surf. Mt.
Capacity: 7 to 9 Bikes



Model: 850100
5-Hump, Surf. Mt.
Capacity: 9 to 11 Bikes



GREENSPOKE
BIKE PARKING SOLUTIONS
844-686-9999
www.greenspoke.com



Detailed View of Model 850060

2-Hump, Surface Mount

Materials:

Table: 1 1/2" O.D. x 120" Wall H8 Steel Mounting Plates: 1/4" Thick x 6" Dia. Steel

Note: Anchoring Hardware Not Included.

Available Finishes:

1) Polyester Powder over Zinc Rich Primer

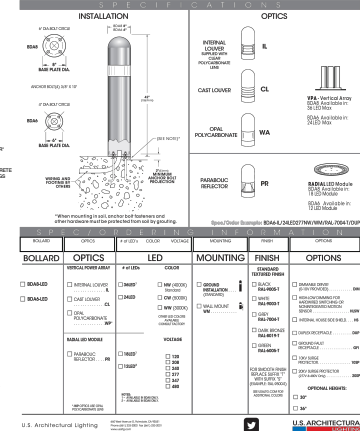
2) Hot Dip Galvanized

Dimensions shown are in inches.

Greenspoke maintains a policy of continuous product improvement.

As a result, some details may change without notice.

BDA SERIES-LED



U.S. Architectural Lighting

PLANS PREPARED BY:



14000 E. 14th Ave. Suite 100
Denver, CO 80231
Phone: (303) 755-1111
Fax: (303) 755-1112

DESIGN: BAP
CHECKED: LBP

DATE: 07/10/19

BY: JBP

DATE: 07/10/19

BY: JBP

DATE: 07/10/19

BY: JBP

DATE: 07/10/19

BY: JBP

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BY: JBP

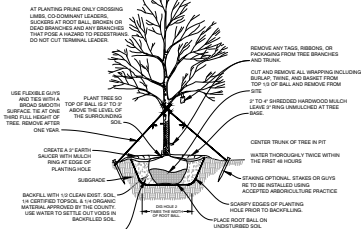
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BY: JBP

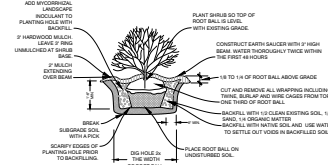
DATE: 07/10/19

BY: JBP

NOTE:
STAKING OF BALL AND BURLAP TREES REQUIRED AT THE DISCRETION OF THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL STAKING AT END OF ONE YEAR WARRANTY PERIOD.



TYPICAL DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE

Tree Planting Schedule					
Symbol	Latin Name	Common Name	Size	Container Type	Comments
As	Acer rubrum 'October Glory'	October Glory Red Maple	2.5' Cal.	B&B	
Qr	Quercus rubra borealis	Red Oak	2.5' Cal	B&B	

Shrub Planting Schedule					
Symbol	Latin Name	Common Name	Size	Container Type	Comments
Sp	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	24" HL	3-5 gallon cont.	3' O.C.
Ob	Buxus 'Green Gem'	Green Gem Boxwood	24" HL	B&B or Cont.	3' O.C.
Vt	Viburnum trilobum	American Highbush Cranberry	48" HT	B&B or Cont.	3' O.C.

PLANS PREPARED BY:



Michael J. Hinkle | Michael J. Hinkle | Josh
michael@ae-engineering.com | josh@ae-engineering.com

DESIGN: B&B
CHECKED: JH

REVISION FOR		DATE	BY
OWNER REVIEW	NO/2024	NO/2024	NO/2024
FOR CONSTRUCTION	NO/2024	NO/2024	NO/2024
CITY COMMENTS	NO/2024	NO/2024	NO/2024

LANDSCAPE DETAILS
GLAS ASSOCIATES
3301 TECH CIRCLE DR
KALAMAZOO, MI
SECTION 31.725, RT1W.

PROJECT
OWNER

JOB NUMBER
24116002

DATE
11/07/2024

SHEET NUMBER



November 06, 2024

Emily Szymanski
City of Kalamazoo
245 N Rose St
Kalamazoo, MI 49007

Re: SME Addition

Thank you for reviewing the plans for the SME Addition located at 3301 Tech Circle. Please see below for our response to your comments.

Fire Marshal:

- Understand that the building will be fully suppressed.
- Access aisles are sufficient to accommodate a fire apparatus.
- No concerns currently.

Building:

- Acknowledge two points of egress (the addition will be tied in internally through the vestibule).
- Four accessible parking spaces, as shown, meet ADA requirements based on number of total parking spaces proposed.
- No comments / concerns.

Water:

- No comments / concerns.

Stormwater:

- For existing basin at NW corner – show if there is anything else draining to that, or if it drains to anything. If it does not have an outlet, provide soil boring(s) and depict on plans overland flow route in event of overtopping.
 - [Scheduled to be conducted](#)
- Will further review stormwater calculations. Minimum detention of 10-year, 24-hour storm because of NFP overlay. HOWEVER, if there is no outlet from the basin, it should be tentatively sized for the 25-year storm. This may be reduced after review of soil borings and overland flow route.
- Provide all information on rooftop mechanical units and any other items that may pose contamination risk from roof drainage.
 - [See architectural plans](#)

Environmental:

- Will further review the CSI Form. If quantities exceed allowances, will need a Spill Containment Plan.
- Please provide any environmental reports you may have for this property.
 - [No updated environmental reports. Owner does not have previous reports from existing building submission.](#)
- Show locations of any sump pumps, generators, and floor drains, if none, please add this as a note on the plans.
 - [No sump pumps. Details shown on architectural plans.](#)
- Show proposed snowmelt. If none, add this as a note on the plans.
 - [No snowmelt to be used](#)
- Provide a draft Stormwater Agreement (once SW layout is finalized). Since this site is in the CBTR park, the environmental reviewer can assist further on what is needed for the draft SWA.
 - [See attached draft SW Agreement](#)

Sanitary:

- No comments / concerns.

Traffic:

- No comments / concerns.

NFP:

Timing Question

1. Are you looking to attend NFP in November or December?

Plan Set Questions

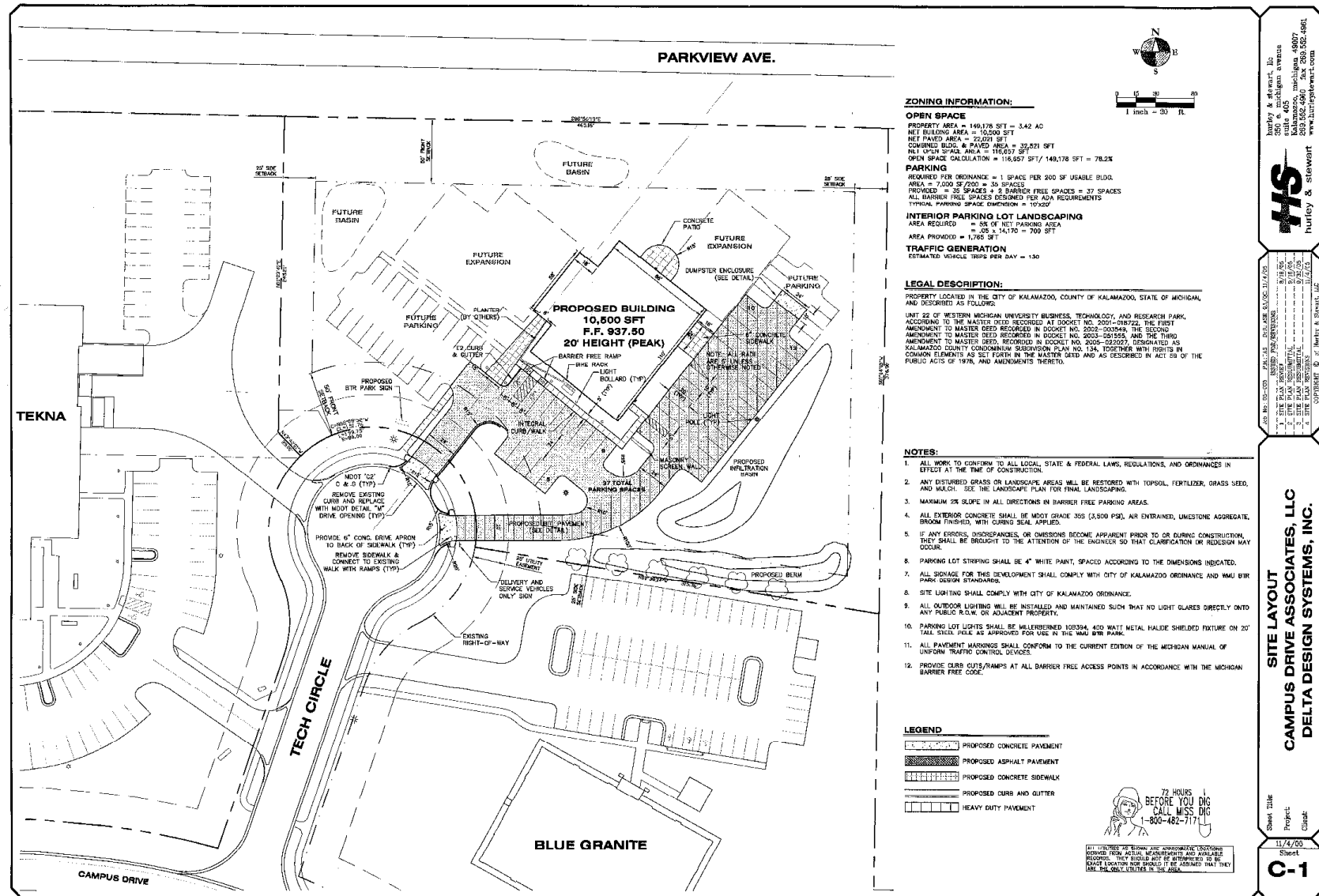
- You show Protected Trees on-site without showing tree protection fencing. Please show tree protection fencing specifications and locations related to protected trees.
 - [See note Sheet C1.0](#)
- You show tree removals, are these protected tree species? Please clarify and provide justifications for protected tree removal.
 - Replacement Tree Plantings List (not shown, please include)
 - [See updated Landscape Plan sheet L1.0](#)
- You show utilities to the new interacting with defined woodland. Please review the prohibited activities within the woodland [here](#)
 - Show tree protection fencing for edge of delineated woodland.
 - [See updated construction limits Sheet C1.0](#)
- I would review any lighted signs (if any) to ensure they are meeting requirements as you are close to Asylum Lake Preserve. Click [here](#), for more information.
 - *Lighted signs. Internally illuminated, automatic changeable copy, and blinking and/or flashing lighted signs are not permitted within 300 feet of a preserve*
 - [Sign is lit by external spotlight](#)

Planning / Zoning:

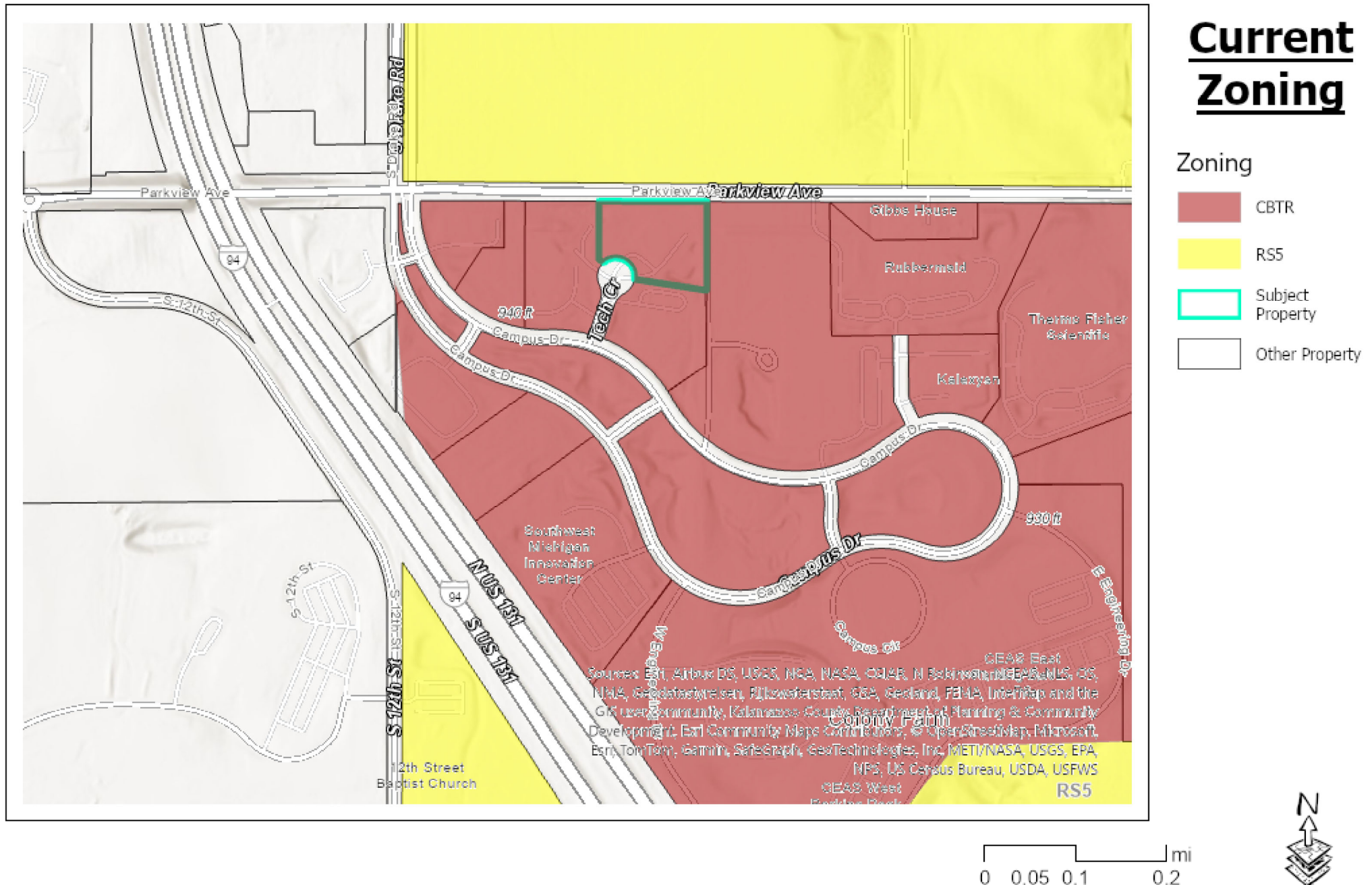
- [50-5.1B\(2\)](#) – General requirements – ROW Improvements. Project under site plan review need to confirm existing sidewalks/street crossings are in good condition and meet ADA requirements. If none present, will need to install to meet ADA requirements.
 - [Sidewalks/street crossings appear to be in good condition and meet ADA requirements](#)
- [50-7.3](#) – Required Bicycle Parking. For office/employment uses/other: 1 per 7 employees.
 - [See updated sheet C2.0](#)
- [50-8.4B\(2\)](#) – Tree Canopy Requirements. Up to one acre: one tree shall be installed. Greater than an acre: one tree per acre or fraction thereof beyond the first acre shall be installed.
 - [See updated Landscape Plan sheet L1.0](#)
- [50-8.4C](#) – Parking Lot and perimeter landscaping. All surface parking shall be screen from view of public or private streets, pedestrian-only passages, bicycle facilities, trails, and residential districts. See code for specific requirements.
 - [See updated Landscape Plan sheet L1.0](#)
- [50-8.4D](#) -- Interior Parking Lot Landscaping. Sites with more than 30 parking spaces require 5% of the total parking lot area be designated as landscaped area. See additional standards in the code reference. Please identify this standard on the plans.
 - [See updated Landscape Plan sheet L1.0](#)

Other comments:

- Identify dumpster on plans. Verify screening.
 - [See note sheet C1.0](#)



P.C. #2024.11 - 3301 Tech Circle Drive
Site Plan Review - Building Addition





NFP OVERLAY

LEGEND

PARCEL MAP



Parcel

GENERAL INFORMATION



City Boundary

PLANNING & ZONING



Natural Features Overlay

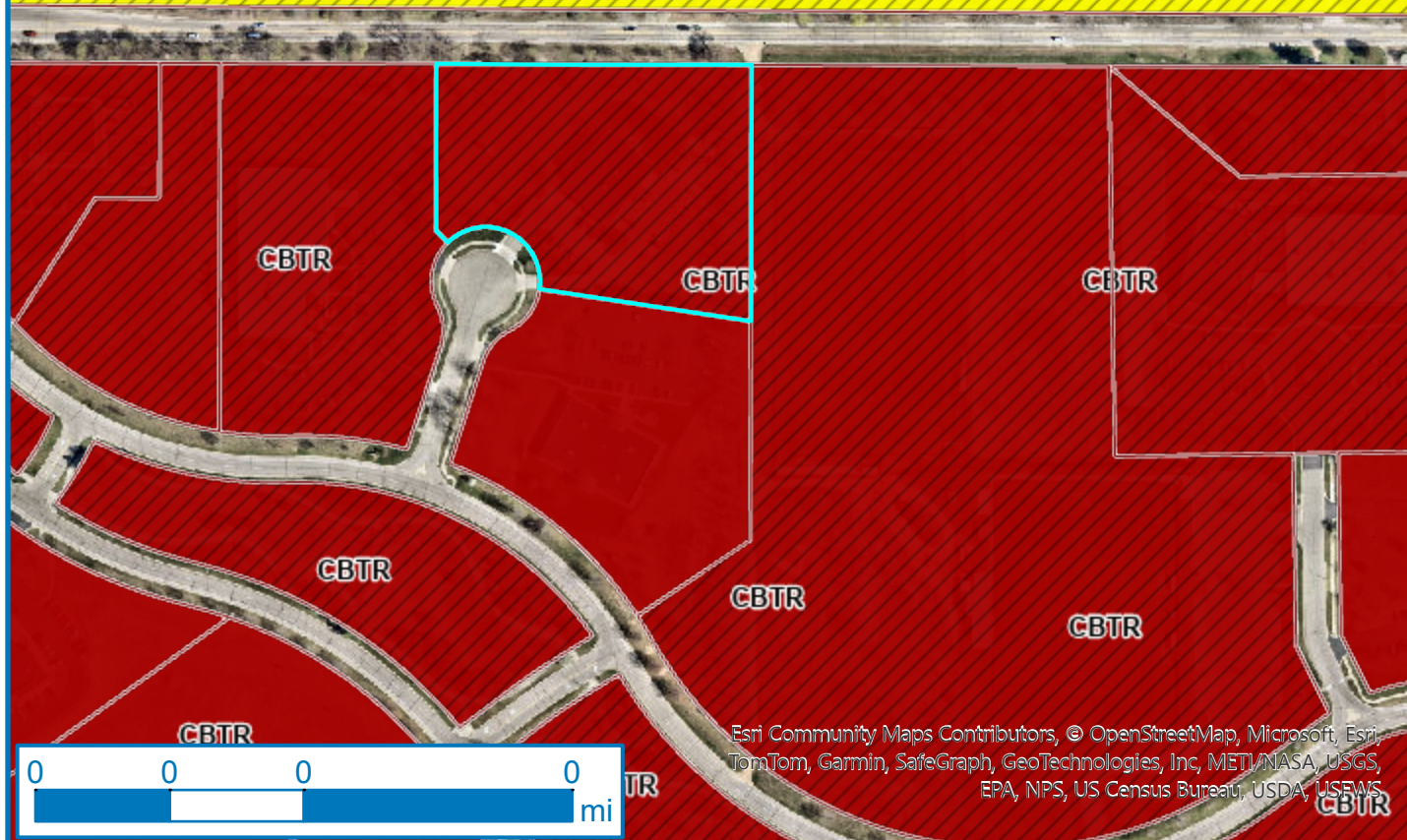
Zoning



CBTR



RS5



P.C. #2024.11 - 3301 Tech Circle Drive

Site Plan Review - Building Addition

Aerial View

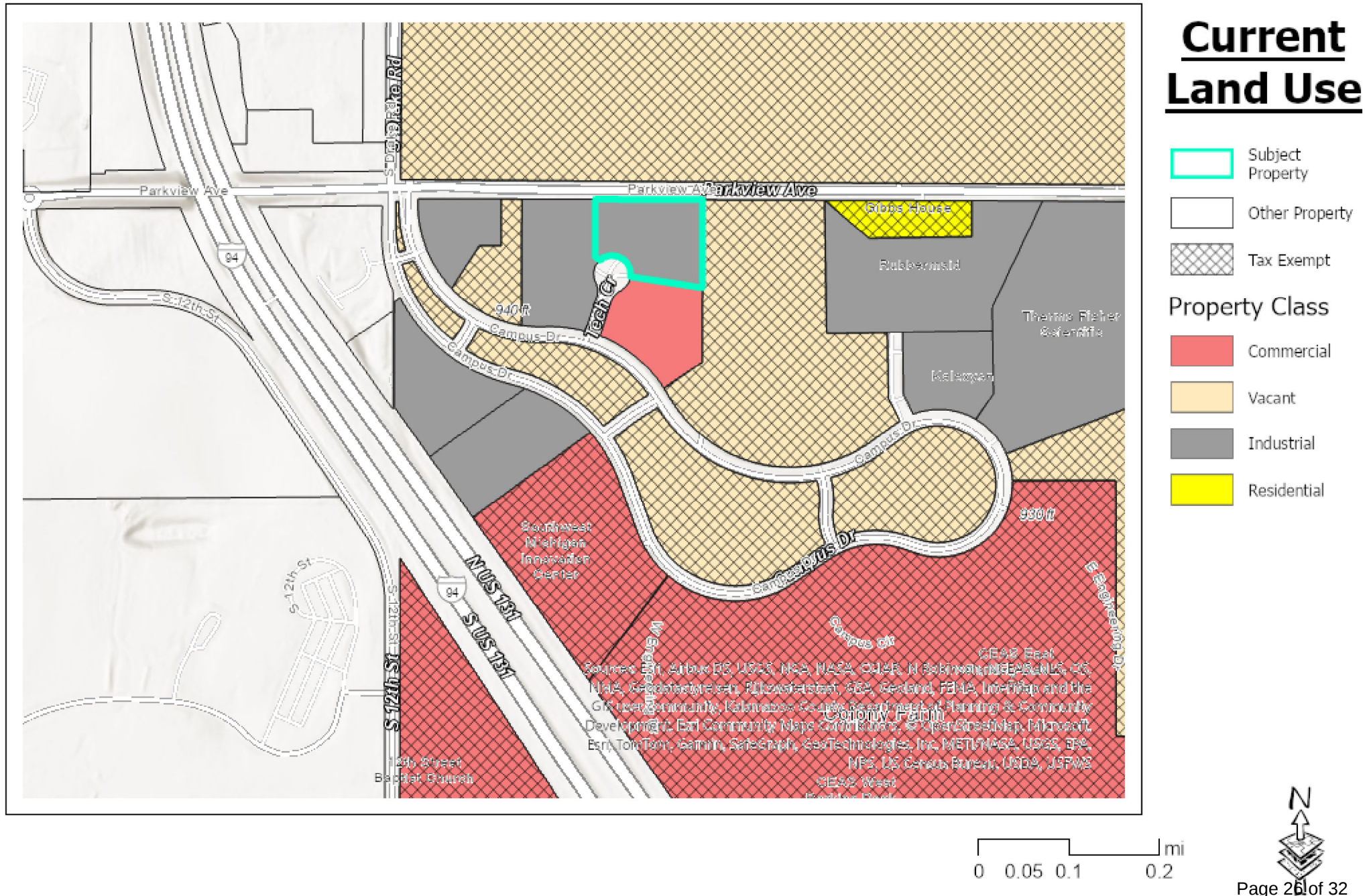
-  Subject Property
-  Other Property
- 2018
-  Red: Band_1
-  Green: Band_2
-  Blue: Band_3



0 0.05 0.1 0.2 mi

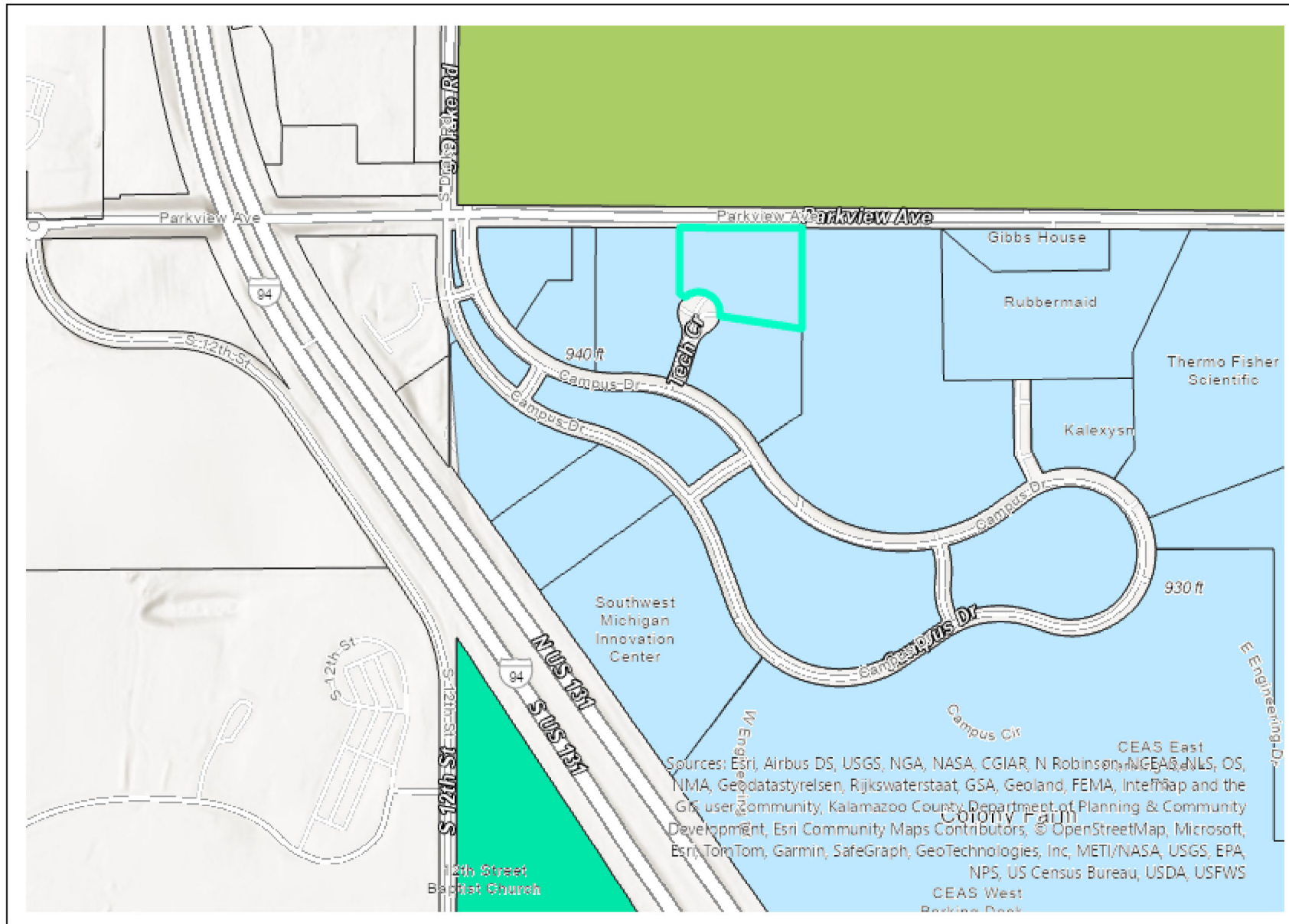


P.C. #2024.11 - 3301 Tech Circle Drive
Site Plan Review - Building Addition



P.C. #2024.11 - 3301 Tech Circle Drive

Site Plan Review - Building Addition



Future Land Use

- Subject Property
- Other Property
- FLU Category**
- Campus
- Campus/Private
- Open Space/Parks

Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Kalamazoo County Department of Planning & Community Development, Esri Community Maps Contributors, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

0 0.05 0.1 0.2 mi









Year 2024 Full Site Plan	Project Address	Project Description	Applicant	Property Owner	Pre-App. Received	Pre-App. Meeting	Pre-App. Approval Date	Date Site Plan Rec.	Fee	Committee Meest. Date	Design Review	Site Plan Review Status	Final Site Plan Approval Date	Final Inspect.	Process Issues
PSP24-001	3100 Stadium Drive	Cell Tower Antenna Co-Location	SBA Network Services LLC	City of Kalamazoo	8/29/2023	9/6/2023	9/8/2023	14/2024	\$ 350.00	2/6/2024	NFP	Site Plan Approved	31/2024		
PSP24-002	266 E Michigan Avenue	Proposed Building Addition and Addition of Residential Units (Coney Island)	266 E Michigan Ave Kalamazoo LLC	266 E Michigan Ave Kalamazoo LLC	10/27/2023	11/1/2023	11/3/2023	11/7/2024	\$ 500.00	2/14/2024	HDC	Site Plan Approved	4/30/2024		
PSP24-003	708 N Burdick Street	Redevelopment of Existing Structure into Mixed-Used Building with Residential / Office Space	708 N Burdick St LLC	708 N Burdick St LLC	11/30/2023	12/20/2023	20/23/2023	11/02/2024	\$ 500.00	2/21/2024	N/A	Site Plan Approved	31/4/2024		
PSP24-004	3419 S Burdick Street	Cell Tower Antenna Co-Location	Crown Castle USA	T-Mobile Central USA LLC	11/1/2023	11/29/2023	12/1/2023	11/24/2024	\$ 250.00	2/21/2024	NFP (Administrative)	Site Plan Approved	5/1/2024		
PSP24-005	2156 Race Street	Southside Park Improvements	City of Kalamazoo Parks & Rec.	City of Kalamazoo	8/4/2023	8/23/2023	8/25/2024	1/25/2024	\$ 500.00	2/28/2024	NFP (Administrative)	Site Plan Approved	4/9/2024		
PSP24-006	2801 Millock Street	Redevelopment for a Community Center and Accessory School Use (E Concho)	Abonmarche Byde	Hispanic American Council	11/6/2023	1/10/2024	11/2/2024	2/2/2024	\$ 500.00	2/28/2024	N/A	Site Plan Approved	3/22/2024		
PSP24-007	1109 Engleman Avenue	Quadplex Development for Transitional Sober Living Housing (Reach Sober Living)	Abonmarche Byde	Reach Sober Living	9/28/2023	10/11/2023	10/13/2023	2/7/2024	\$ 500.00	3/6/2024	N/A	Site Plan Approved	5/6/2024		
PSP24-008	825 Portage Street	New Development for a Community Center (Boys and Girls Club)	Hurley & Stewart	Boys & Girls Club of Greater	11/14/2023	12/6/2023	12/9/2023	2/23/2024	\$ 500.00	3/27/2024	ZBA - Variances approved 2/8/2024	Site Plan Approved	8/2/2024		
PSP24-009	1727 E Main Street	Phased Commercial Redevelopment	Pastor Levan Carr	Black Wall Street Kalamazoo	1/16/2024	1/24/2024	1/26/2024	3/6/2024	\$ 250.00	4/3/2024	N/A	Withdrawn - Multi-Party Site Plan	--		Withdrawn
PSP24-010	1019 Miller Road	Innovator Exchanges)	Nicole R. Triplett	12/2024	1/7/2024	1/19/2024	3/6/2024	3/6/2024	\$ 500.00	4/3/2024	N/A	Site Plan Approved	9/24/2024		
PSP24-011	1102 Lake Street	Site Work and Building Addition (Mills Street Market)	Tyler Bourdo	Patel, Kirit	8/29/2023	9/13/2023	9/15/2023	3/15/2024	\$ 500.00	4/10/2024	ZBA - Variances approved 12/18/2023	Withdrawn Project Under Review	--		Withdrawn
PSP24-012	3600 Alvan Road	New Lighting and Pavement Expansion for the Existing Truck Yard (Old Dominion Freight Lines)	Manhard Consulting	Old Dominion Freight Line Inc.	12/7/2023	1/3/2024	1/5/2024	4/4/2024	\$ 500.00	8/7/2024	N/A	Project Under Review			
PSP24-013	1727 E Main Street	Development of a Four-Story Hotel	Steve Aldridge	Doerr Protection Trust	11/2/2023	11/29/2023	12/1/2023	5/7/2024	\$ 500.00	5/29/2024	N/A	Project Under Review			
PSP24-014	3625 W Michigan Avenue	Commercial Redevelopment and Upper Floor Residential	Brian Peterson with Pastor Levan Carr	Carr, Levan Dyke & Kerry Ann Graham	1/16/2024	1/24/2024	1/26/2024	5/30/2024	\$ 300.00	6/26/2024	N/A	Project Under Review			
PSP24-015	1500 N Pitcher Street	Multi-Family Residential Development	Greg Diore Jr.	Kalamazoo Realty Holdings International LLC	10/20/2023	11/15/2023	11/17/2023	5/28/2024	\$ 610.00	6/26/2024	NFP	Project Under Review			
PSP24-016	700 River Street	Building Demo, Underground Power Feed, and Site Work (GPI)	Hurley & Stewart	Graphics Packaging International LLC	5/1/2024	5/8/2024	5/10/2024	6/6/2024	\$ 500.00	7/10/2024	CC Approval - 7/11/2024	Site Plan Approved	8/2/2024		
PSP24-017	100 W Michigan Avenue	Development of 10 homes with 5 drive entrances along Bridge Street / Ampersae	Hurley & Stewart	City of Kalamazoo	11/30/2024	12/6/2023	12/8/2023	6/17/2024	\$ 500.00	7/17/2024	ZBA - Variance approved 03/19/2024	Project Under Review			
PSP24-018	700 W Michigan Avenue 100	Development of 10 homes with 5 drive entrances along Bridge Street / Ampersae.	Saroki Architecture	Catalyst Development Co. LLC	4/19/2024	5/1/2024	5/3/2024	6/30/2024	\$ 500.00	7/24/2024	N/A	Site Plan Approved	9/24/2024		
PSP24-019	3620 Stadium Drive	Building Addition for Car Wash and New EV Charging Station (Saslye Auto)	Bosch Architecture	Secco Investments, LLC	4/19/2024	5/1/2024	5/3/2024	7/17/2024	\$ 500.00	8/14/2024	N/A	Project Under Review			
PSP24-020	4300 W Main Street	Site Redevelopment to Construct a New Restaurant with Drive-Through (Panda Express)	Panda Restaurant Group	4300 W Main Properties	4/2/2024	4/10/2024	4/12/2024	7/30/2024	\$ 500.00	8/21/2024	ZBA - Variance approved 06/13/2024	Project Under Review			
PSP24-021	3060 Oakland Drive	Underground Fuel Tank Replacement and Site Improvements (Rich Oil Speedway)	CEO	Checker Oil Co of Michigan Inc.	9/12/2023	9/20/2023	9/22/2023	7/31/2024	\$ 610.00	TBD Once Complete App.	NFP	Pre-Process			Complete Application/Plans Not Yet Received
PSP24-022	4401 Saasta Street BL	Cell Tower Antenna Co-Location (AT&T)	Master Network Solutions	SBA 2012 TFC Assets, LLC	6/12/2024	6/26/2024	6/28/2024	7/30/2024	\$ 250.00	8/21/2024	NFP (Administrative)	Site Plan Approved	8/29/2024		
PSP24-023	5135 Portage Road	New Hotel Development and Site Improvements	Hurley & Stewart	Molt, Phillip R Trustlee	7/19/2024	7/31/2024	8/2/2024	8/13/2024	\$ 500.00	9/11/2024	ZBA - Variance approved 07/11/2024	Project Under Review			
PSP24-024	3431 E Kilgore Road	Per Aquamation Facility	Hurley & Stewart	Peaceful Moments Pet Aquamation	8/21/2024	9/18/2024	6/7/2024	8/21/2024	\$ 300.00	9/18/2024	NFP (Administrative)	Project Under Review			
PSP24-025	3401 Nazareth Road	Non-Motorized Trail Development (Bow in the Clouds)	Southwest Michigan Land Conservancy	Southwest Michigan Land	6/14/2024	7/10/28/24	7/12/2024	8/23/2024	\$ 610.00	9/18/2024	NFP	Site Plan Approved	9/24/2024		
PSP24-026	3405 Dixie Street	New Multi-Family Development	Hurley & Stewart	Kelli-Sue LLC	7/12/2024	7/24/2024	7/26/2024	9/11/2024	\$ 500.00	TBD Once Complete App.	N/A	Pre-Process			
PSP24-027	4111 W Kalamazoo Avenue	Site Redevelopment for a 20,000 sq ft Fire Station (Center and New Fire Station) Per Multi-Party Site Plan	CD Arena LLC	CD Arena LLC	7/3/2024	7/10/2024	8/13/2024	9/11/2024	\$ 500.00	10/23/2024	N/A	Project Under Review			
PSP24-028	119 E Dutton Street	New Parking Lot (119 E Dutton) and Parking Lot Improvement (622 John) (Bronson Methodist Hospital)	AR Engineering	Bronson Methodist Hospital	8/14/2024	9/11/2024	9/13/2024	9/20/2024	\$ 500.00	10/23/2024	N/A	Project Under Review			
PSP24-029	238 E Michigan Avenue	Redevelopment of Vacant Upper Floor for Four Residential Units (Hemstra Optical Building)	Driven Design Studio	234/238 E LLC	8/7/2024	8/14/2024	8/16/2024	9/23/2024	\$ 300.00	10/30/2024	HDC	Project Under Review			
								TOTAL	\$ 13,340.00						

Planning Commission Meeting Schedule 2025

<u>Application Deadline:</u>	<u>Meeting Date:</u>
December 6, 2024	January 7, 2025
January 3, 2025	February 6, 2025
February 7, 2025	March 6, 2025
March 5, 2025	April 9, 2025
April 4, 2025	May 1, 2025
May 9, 2025	June 5, 2025
June 6, 2025	July 9, 2025
July 7, 2025	August 7, 2025
August 1, 2025	September 4, 2025
September 5, 2025	October 2, 2025
October 3, 2025	November 6, 2025
November 7, 2025	December 4, 2025
December 5, 2025	January 7, 2026

Note: The meeting dates shown above are for regularly scheduled monthly meeting on the first Thursday of each month, except for January 2025, April 2025, July 2025 & January 2026. Any Special Meeting will be specially identified if alternate dates have been set.