

Agenda

Historic District Commission

City of Kalamazoo



Tuesday, June 17, 2025

5:00 PM

City Commission Chambers at City Hall – 241 West South Street

A. CALL TO ORDER/ROLL CALL

1. Kristi Breisach
2. Katie Boertman
3. James Johnson
4. Dan Kastner - Chair
5. Dana Underwood - Vice-Chair

B. ADOPTION OF FORMAL AGENDA

C. APPROVAL OF MINUTES

1. Approval of the minutes from the Historic District Commission meeting on 20 May 2025

D. PUBLIC COMMENTS

E. APPLICATION REVIEWS

1. 714 W South - Alteration (Addition of deck at rear of property) PPZ25-0024
Year Built: 1865
Style: Italianate
Historic District: South Street - Vine Area
2. 802 S Burdick - New Construction (Construction of multi-use building) PPZ25-0025
Year Built: N/A
Style: 21st Century Modern
Historic District: South Street - Vine Area
3. 224 (214) E Michigan - Alteration (Installation of 1 door and replacement of 2 windows) PPZ25-0026

F. COORDINATOR'S REPORT

Questions and comments regarding this agenda or the Kalamazoo Historic District Commission should be directed to the Historic Preservation Coordinator at 337-8804 or Penal@kalamazoocity.org

1. Coordinator's Report

G. ADJOURNMENT

DISCLAIMER

Chapter 16, Section 22 of the City of Kalamazoo Code of Ordinance states:

Historical preservation is a public purpose. To serve that purpose, the Historic District Commission is hereby charged with the following responsibilities:

- a) The Kalamazoo Historic District Commission is empowered to regulate Work on the exterior of historic resources and non-historic resources in historic districts in the City of Kalamazoo and shall otherwise have all powers invested in Historic District Commissions pursuant to the Local Historic Districts Act, MCLA § 399.201 et seq. 1970 PA 169, as Amended 1992.
- b) To regulate Work on resources which, by City ordinance, are historic or non-historic resources located within local historic districts, including but not limited to the moving of any structure into or out of, or the building of any structure in, an historic district.

The following documents are available in the Community Planning and Economic Development Department located at 245 North Rose Street. These documents will help assist property owners in understanding the responsibilities of owning property in a local historic district: MCLA § 399.201 et seq. 1970 PA 169 as Amended 1992 (Michigan Local Historic District Act); Code of Ordinances City of Kalamazoo, Michigan (Chapter 16 - Historic District); Secretary of the Interiors Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings, 1990; Standards and Guidelines for Kalamazoo Historic Districts, and maps of Kalamazoo Local Historic Districts. These documents and maps are also available on the city of Kalamazoo website at www.kalamazoocity.org/historicpreservation.

GUIDELINES FOR PUBLIC PARTICIPATION AT HDC MEETINGS

The Historic District Commission recognizes that citizens who make the effort to attend a Commission meeting often feel passionately about an issue. The following guidelines are not meant to discourage individual expression; rather, they exist to facilitate the orderly conduct of business and to ensure that all citizens who wish to address the Historic District Commission are able to do so in an atmosphere of civility and respect.

- Out of respect for business being conducted during the meeting, turn off all cell phones and pagers prior to the meeting.
- Citizens have opportunities to address the Historic District Commission at the following times during a meeting:
 - Address Non-agenda items at the beginning of the meeting. If you wish to speak about a specific review, please wait until that review comes to the commission.
 - Consideration of Regular Agenda items. Citizens are permitted to speak to the Commission on project reviews after the applicant has made their presentation and prior to the Historic District Commission discussion. The Chair will call for comments from the public.

A Note on Quorum and Historic District Commission Decisions

City of Kalamazoo Code of Ordinance – Chapter 16 – Historic District Commission – section 19 states: “A majority of the members of the Commission shall constitute a quorum. A majority of the appointed members is required to take action on all matters not of an administrative nature, but a majority of a quorum may deal with administrative matters.” All applicants should be aware that the minimum of four of the commissioners must vote for a motion for a decision to be made in all actions. Applicants may choose to postpone their review to the next regularly scheduled meeting of the commission before the commission begins their deliberations if fewer than seven commissioners are present. The postponement form is available from the coordinator and must be filled out and signed before the applicant leaves the meeting.

KALAMAZOO HISTORIC DISTRICT COMMISSION

Agenda – Tuesday, May 20th, 2025

5:00 pm

241 W. South St. Kalamazoo, MI 49007

I. Call to Order: Mr. Kastner called the meeting to order at 5:01 PM

II. Roll Call & Approval of Absences:

Eric Stucky-Present	Katie Boertman- Present
Dana Underwood – Present	Kristi Breisach- Present
James Johnson-Absent	
Dan Kastner- Present	

Motion made by Ms. Breisach to approve the absence of Mr. Johnson with a second by Mr. Stucky. All commissioners approved.

Mr. Pena read the disclaimer on record at 5:03 PM.

III. Approval of Agenda:

Motion made to approve the agenda by Ms. Underwood with a 2nd by Ms. Breisach. All commissioners approve.

IV. Approval of Minutes: April 15th, 2025

Motion made by Ms. Underwood to approve the minutes with a second by Ms. Boertman; All commissioners approved.

V. Public Comment on non-agenda items: No comments.

VI. OLD BUSINESS: None

NEW BUSINESS:

A) 1535 Grand

Year Built: 1910

**Removal of stucco on dormers,
Replace with cement board**

**Style: Prairie
Historic District: West Main Hill**

Mr. Chris Heckman on behalf of 1st Choice Custom Building is proposing to re-roof the home as well as to remove the dormer stucco and replace with cement board that would remain the same color. Mr. Heckman did bring samples of the product as well as additional photos and letters from the neighbors

supporting the change. They have been unable to find a contractor that is willing to do the work or someone who is qualified. The stucco in this application and this area will break down again due to water. The footprint will remain the same. The stucco in this home does have asbestos in it. Ms. Underwood makes a motion to approve a Certificate of Appropriateness for the work as described in the application, the proposed work complies with the Secretary of the Interior standards 2, 5, 6, 9 and 10 with a second from Ms. Boertman. All commissions approved.

B) 436 Stuart

Year Built: 1890

Demo of Carriage Barn

Style: Queen Ann

Historic District: Stuart

Ms. Megan Campanile wants to get approval to demo the carriage barn on her property. The existing barn was built in the 1970's. The home was purchased in 2021, and some work was done on the inside of the barn. The homeowner did have the building inspected and noted that the cross beams had cracks in them. The barn has had additional supports added to the beams to help support the structure. The barn was built from reclaimed wood and none of the wood would be reusable. The homeowner has been unable to get to the 2nd floor and has had raccoons in the structure. Ms. Campanile has tried finding a structural engineer to access the building but the cost to access it is \$1,500. Ms. Campanile would like to demolish the building and eventually rebuild something with the same style and charm to have a safer structure. The newspaper article is definite proof of when the building was built. The structure, while not historic, was built while the home was in the historic district. Most of the houses in the area do have carriage barns as well. Ms. Boertman makes a motion to approve a Certificate of Appropriateness for the work as described in the application, the proposed work complies with the Notice to Proceed criteria a and d with a second by Ms. Breisach. All commissioners approve.

C) 1009 Oak

Year Built: 1895

Alteration- Installation of new windows in place or removed ones

Style: Queen Anne

Historic District: South Street-Vine Area

Mr. Austin Sroczyński is looking to install 2 windows on the home. One window was replaced with a vinyl window and the other was closed in. They would like to return the openings to the original size and trim and to replicate the other windows on the home. They are looking to replace them with an Anderson A100 window which is a composite wood with fibrex. The new windows would not have a grid on them like the vinyl does currently and will be double hung windows. Ms. Breisach is curious if they have approved a 100 series window before. The commissioners have approved a 200 series window before, but this option is better than a vinyl window. Ms. Underwood states that the purpose is to preserve the house. The trim will match as close as possible to the other windows in the house. Ms. Boertman makes a motion to approve a Certificate of Appropriateness for the work as described in the

application, the proposed work complies with the Secretary of the Interior standards 9 and 10 with a second from Ms. Underwood. All commissioners approve.

VII. Coordinator's Report

- Increase in administrative reviews.
- Mr. Stucky resigned from the Historic District Commission.

VIII. Adjournment

Mr. Kastner adjourned at 5:41 PM.

Chairperson

Date

Historic Preservation Coordinator

Date

Recording secretary

Date



Historic District Commission Staff Report

City of Kalamazoo

TO: The Kalamazoo Historic District Commission
FROM: Luis Pena, Historic Preservation Coordinator
DATE: June 17, 2025
SUBJECT: 1. 714 W South - Alteration (Addition of deck at rear of property) PPZ25-0024

PROPOSED WORK:

From the Description of Work Supplied by the Applicant: 1. Demolition - remove the rotted rear stairs with platform. This is a small platform with stairs, 30SF total.
2. Built - construct a new deck off the back of the house. This new deck is:
a) 14' along the house, projecting out 12', give 168SF (for the main structure).
b) this freestanding deck will be only a couple inches from the house, still satisfying the 4" ball rule
c) This deck will not have stairs. this is just a simple platform with railings
d) The 'A' surfaces will be a composite like trex if HDC is amenable. Otherwise, I'll have to settle for the clearest cedar i can find locally and afford.

EVALUATION:

Project Details

Construction of a deck at the rear of the property. The deck will not be attached to the property, but will be directly adjacent to the existing house. The decking will be TREX, a synthetic material.

Applicable Criteria

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
The new deck at the rear of the property will not be attached to the property, so it will not alter the historic fabric of the building.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic

integrity of the property and its environment.

The proposed deck will not destroy any historic materials on the property. The proposed deck will be differentiated from the historic property because it will not be connected to the property and will utilize modern building materials like TREX.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Because the proposed deck will not be attached to the structure in any capacity, the deck could be removed in the future without damaging the integrity of the historic structure.

Local Historic District Standards and Guidelines

Decks

Decks are allowed on the rear of a structure and may be constructed of cedar, cypress, redwood or pressure treated lumber.

The deck will be built of wood, but decked with Trex

They should be placed in an unobtrusive location and be minimally visible from the street.

The proposed deck will be placed at the rear of the property and not be visible from the street.

Rails should be to standards as above but may be of pressure treated lumber and may be taller than porch rails, as required by the building code for the chosen site.

The rails on the deck will be built to the historic district standard.

The flooring boards should extend past the support framing over an apron board.

Deck boards will extend past the edge of the deck.

Discussion

The proposed deck will be unobtrusive and removable in the future. While not addressed in the standards and guidelines, TREX is a material that approximates wood. No aspect of the deck will alter historic materials of the property.

POTENTIAL ACTIONS:

1. The proposed work complies with the Secretary of the Interior standards 2, 9 and 10. **Action: Motion to approve a Certificate of Appropriateness for the work as described in the application.**

2. More information is needed. **Action: Motion to postpone until the HDC meeting on 15 July 2025 and direct the applicant to provide the requested materials and information to the Historic Preservation Coordinator by noon on 8 July 2025.**

3. Denial of the application. **Action: Motion to deny the application based on Secretary of the Interior Standards 2, 9 and 10.**



RECEIVED JUN 05 2025 BY: Cas

✓ 1650 for \$85.00

Community Planning and Economic Development
Historic District Commission
245 N. Rose Street
Kalamazoo, MI 49007
Telephone: (269) 337-8804; FAX (269) 337-8513
Penal@kalamazoo.org

APPLICATION FOR PROJECT REVIEW – Historic District Commission Hearing

COMPLETE Applications for review at the Historic District Commission meeting including payment of the \$85 hearing fee must be received by NOON on the 2nd Tuesday of the month- the meeting is on the 3rd Tuesday of the month.

(PLEASE PRINT CLEARLY - See instructions on reverse side)

Property Address: 714 W. South St. Kalamazoo
Historic District: [X] South/Vine [] Stuart [] West Main Hill [] Rose Place [] Haymarket
Applicant: Reed Shilts Owner: Reed Shilts
Mailing Add: 714 W. South St. Mailing Add: -same-
City State & Zip: Kalamazoo, MI, 49007 City, State Zip:
Phone: 269-532-1702 Phone:
Email: reed@shilts.org Email: @

Contractor homeowner

[X] Work to be done by owner

Proposed Work: Use additional sheets to describe work if necessary

- 1) DEMOLITION - Remove the rotted rear stairs with platform. This is a small platform with stairs, 30SF total.
2) BUILD - Construct a new deck off the back of the house. This new deck is:
A. 14' along the house, projecting out 12'. Giving 168SF (for the main structure).
B. This freestanding deck will be only a couple inches from the house, still satisfying the 4" ball rule.
C. This deck will not have stairs. This is just a simple platform with railings.
D. The "A" surfaces will be a composite like Trex if HDC is amenable.
Otherwise, I'll have to settle for the clearest cedar I can find locally and afford.

(RLS) This property has at least one working smoke detector for each dwelling unit.
(Owner or applicant's initials) (Required) * see back

Applicant's Signature: [Signature] Date: 5-June-2025
Owner's Signature: SAME Date:
(if different)

APPLICATION CHECKLIST:
Include all these items in your submission. Incomplete applications will be held until the next review hearing.
[X] Drawings 11x17 or smaller with dimensions
[X] Materials list
[X] Site plan including north arrow
[] Other:
[] \$85 for HDC hearing & review fee - must be paid in advance to be placed on agenda - include WITH application - Check payable to: City of Kalamazoo

-For Historic Preservation Coordinator's Use Only-

Case Number: PPZ- 25-0024 Date Received*: 06/05/2025
Zoning RM-15 Year built 1865 Complete application Yes
Owned since 01/19/2017

COMMISSION

Meeting Date 17 June 2025

Hearing fee paid \$85

Check #

COMMENTS

Approve in Concept Date Letter mailed

FINAL ACTION

[] Approve [] Site Visit [] Approve w/Conditions [] Deny [] Postpone [] Withdrawn

ACTION DATE

Certificate of Appropriateness Issued

Notice of Denial with appeals information

Notice to Proceed Comments

Revised November 22, 2019

Description of Work

Location:

Reed & Dawn Shilts
714 W. South St.
Kalamazoo, MI, 49007
269-532-1702
cell) 508-221-4591

Parcel: 06-16-491-002

1) Remove the rotted rear stairs with platform.

This is a small platform with stairs, like 30SF total.

2) Construct a new deck off the back of the house.

This new deck is:

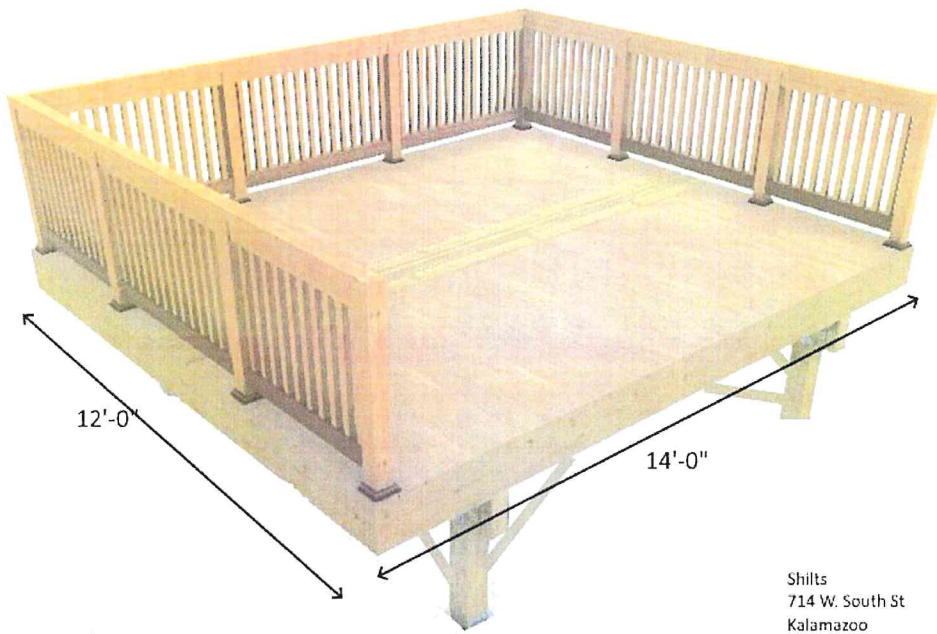
- A. 14' along the house, projecting out 12'.
Giving 168SF (for the main structure).
A bit more for the finished decking because the surface deck boards will hang over a couple inches on all sides.
- B. The surface of the deck is about 47" above mean ground level, giving only a slight height difference between the decking and the door's threshold.
- C. This deck is freestanding because:
 - a. Inconvenient location of the house's ledger
 - b. My general dislike from previous homes with bad flashing causing water issues with the house rim-joist and the deck's ledger.
- D. This freestanding deck will be only a couple inches from the house, still satisfying the 4" ball rule.
- E. This deck will not have stairs. This is just a simple platform with railings.
- F. The structure will generally be 2x10 construction of Pressure Treated SYP.
- G. The "A" surfaces will be a composite like Trex if HDC is amenable. Otherwise, the clearest cedar I can find locally and afford.

Notes:

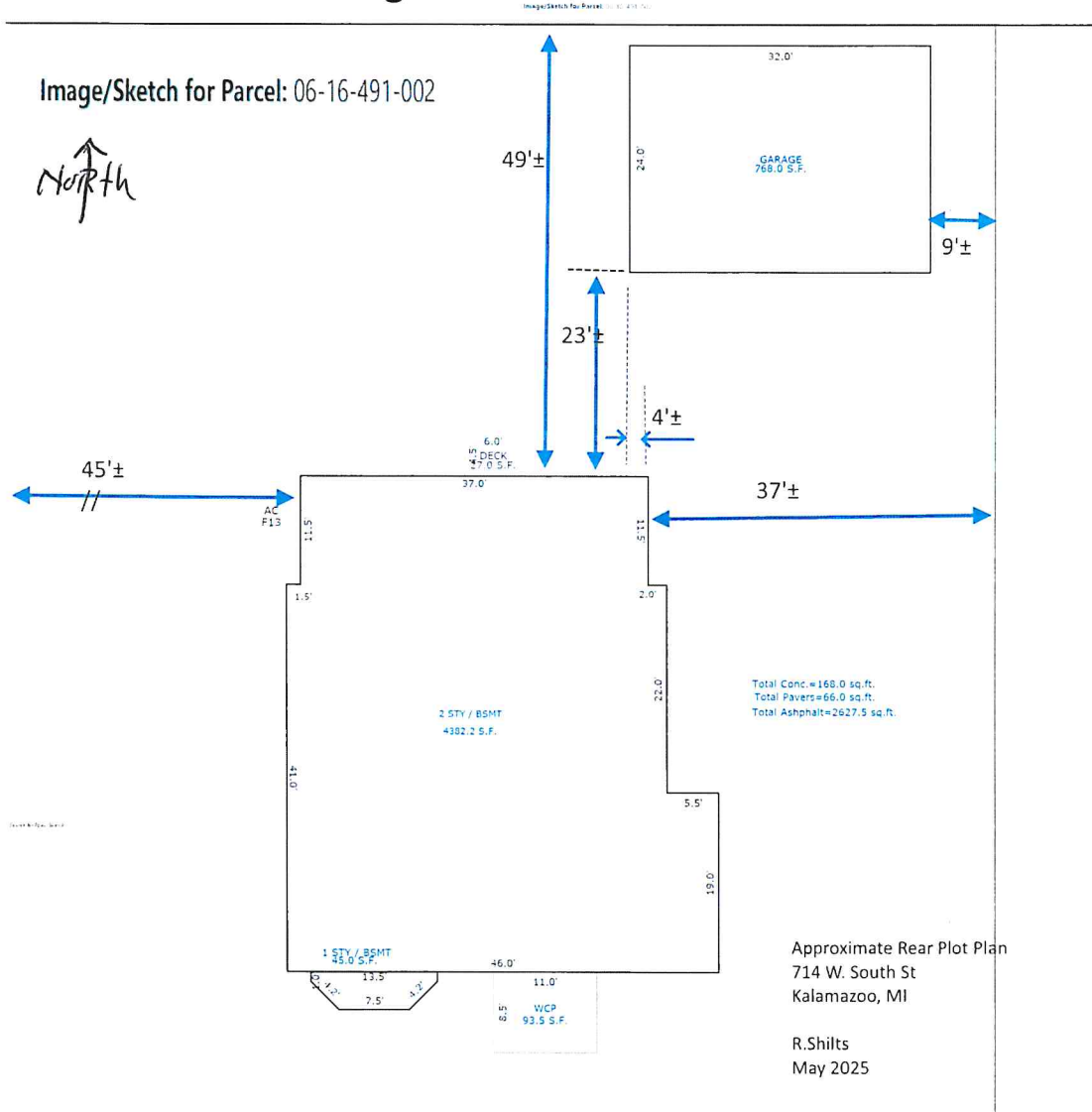
- A. Michigan "Miss Dig" has been informed and a ticket opened.
The locate request returned with NO CONFLICT.
- B. The desired deck surface is a composite like Trex. Depending on the response from the Historic District Commission, we might fall back to using cedar.

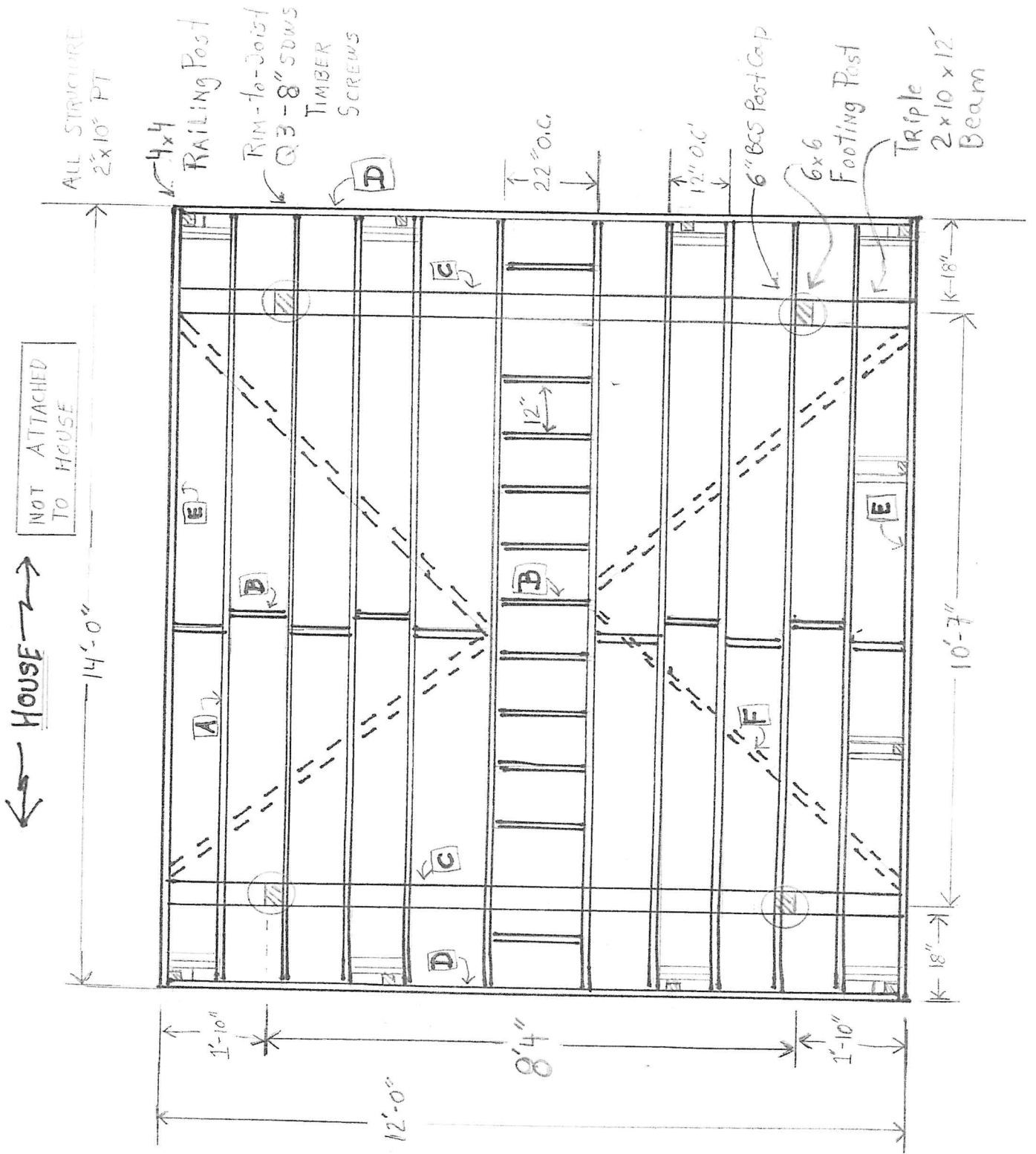
Table of Contents

- 1) Description of Work
- 2) This Table of Contents
- 3) Orthogonal View of Proposed Deck
- 4) Plot Plan - Existing
- 5) Plot Plan - Proposed
- 6) Floor Structure Plan (top view)
- 7) Floor Structure Plan Legend
- 8) Overall Structural Information
- 9) Cross Section View - Footings to Top of Superstructure
- 10) Side Elevation View
- 11) Detail - Joists bearing on a drop-beam
- 12) Detail - Beam to Post Connection
- 13) Detail - Rail Post Connection (corners and sides)
- 14) Text details (notes and calculations)
- 15) Detail - Connectors and Fasteners



Existing



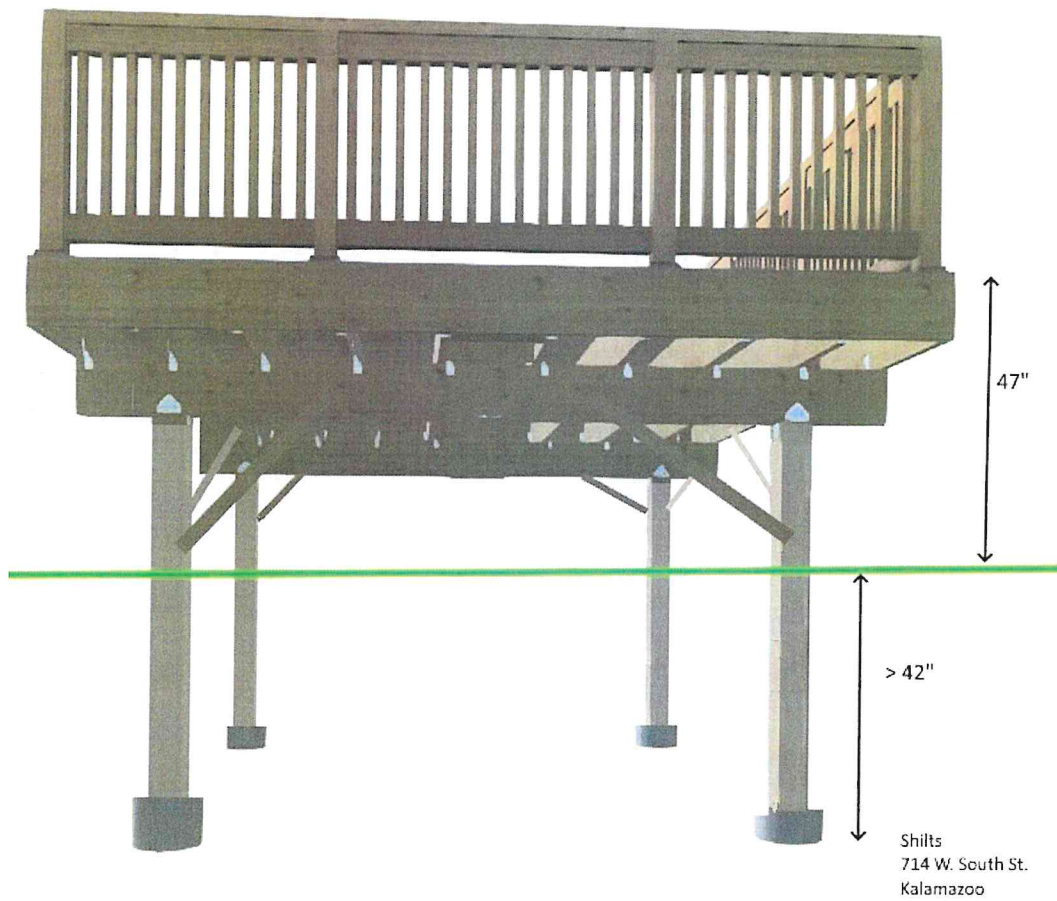


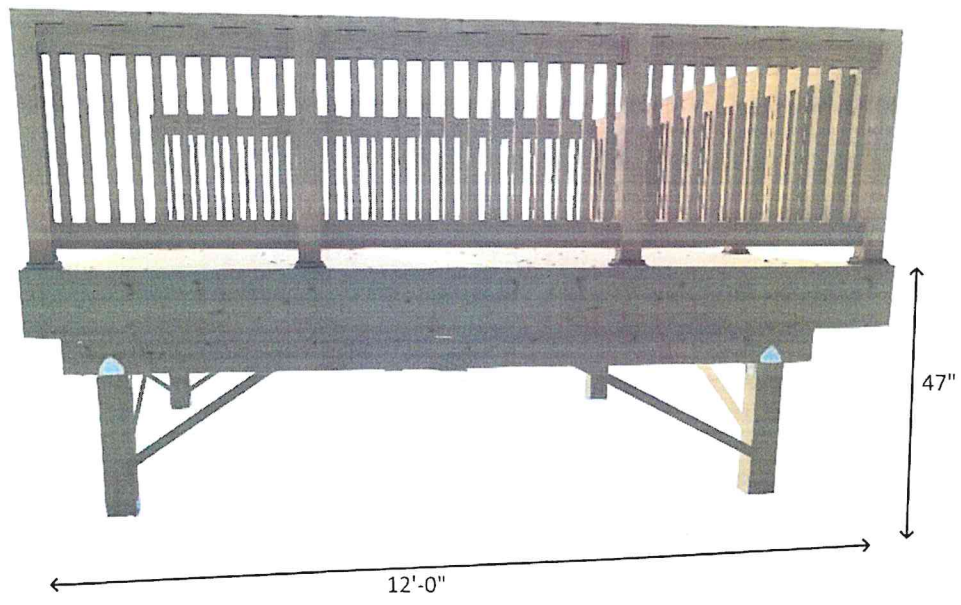
Structure Drawing Legend

A	2" x 10" x 14'	Joist (parallel to house)	Qty: 10
B	2" x 10"	Blocking	Qty: 10@12" 13@22"
C	2" x 10" x 12'	3-Ply 2x10 Beam (drop beam design)	Qty: 6
D	2" x 10" x 12'	Rim Joist (really about 11'-9")	Qty: 2
E	2" x 10" x 14'	Rim Joist	Qty: 2
F	2" x 6" x 8'	Lateral Diagonal Bracing	Qty: 4

Structural Information: Level 1

Overall Deck	12' x 14' (168SF)
Height to level (top of decking)	47"
Deck rail guard height	37"
Max rail guard length	4'-10"
Joist Size	2" x 10" at 14' (really closer to 13' - 9" long)
Max joist span	10' - 7"
Max joist cantilever	1' - 6"
Beam Size	3-Ply 2"x10" beam at 12' long
Max beam span	8' - 4"
Max beam cantilever	1' - 10"
Footing depth	42"+ (concrete pad with 6x6 beam post on pad)
Total Footing Area	6.3 ft ² (each footing pad is 17" diameter, 6+ inches thick)
Footing Post	6x6" ground-contact post from buried footing pad to beam
Structure Material	Pressure Treated SYP All based on 2x10 rims and joists
Upper Decking Material	Trex or similar (or Cedar if HDC does not allow Trex)
Connectors	Various Simpson ZMAX connectors and Simpson SDWS timber screws
Designed live load	40 lb/ft ²
Designed dead load	10 lb/ft ²



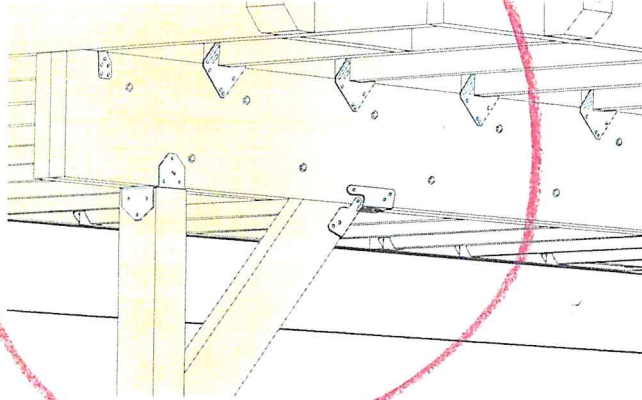


Shilts
714 W. South St.
Kalamazoo



Joists Bearing on a Beam

At the point where the joist bears on top of a beam, there must be a connection to resist lateral and uplift forces. Blocking or framing is also required to prevent rotation of the joists.



Building Code Requirements

- Where posts and beam or girder construction is used to support floor framing, positive connections shall be provided to ensure against uplift and lateral displacement.

IRC 2018/2021/2024
Section R502.9
IBC 2018 Section 2304.10.7
IBC 2021/2024 Section 2304.10.8

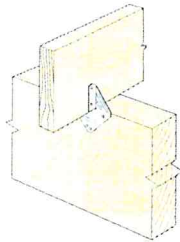
- Joist ends and bearing locations shall be provided with lateral restraint to prevent rotation.

IRC 2018/2021/2024
Section R507.6.2
IBC 2018/2021
Section 2308.4.2.3
IBC 2024 Section 2308.3.2.3

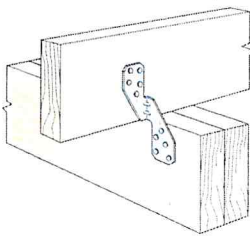
- Joists bearing on top of a single-ply beam or ledger shall be attached by a mechanical connector. Joists bearing on top of a multi-ply beam or ledger shall be fastened in accordance with Table R602.3(1).

IRC 2018/2021/2024
Section R507.6.1

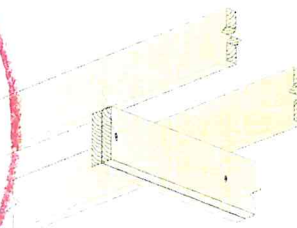
Simpson Strong-Tie® Solutions



H1AZ Hurricane Tie
Holds joist on both sides.
Features ZMAX® coating.



H2.5A Hurricane Tie
Suitable for single-sided applications. Available in ZMAX and stainless steel.



Strong-Drive SWD Double-Threaded™ Screw
Connects joist to beam.

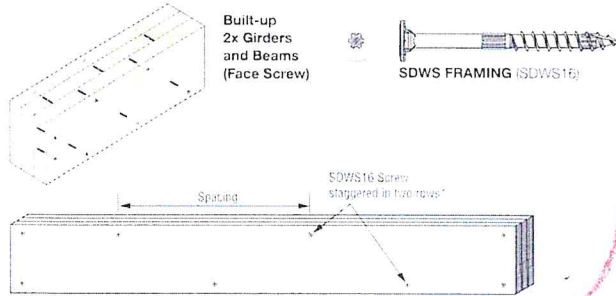
Simpson Strong-Tie offers a full range of hurricane ties for all types of applications and load requirements. See the Simpson Strong-Tie Wood Construction Connectors catalog for more information.



Beam Assemblies and Beam-to-Post Connections

Multi-Ply Beam Assemblies

For multi-ply beam assemblies, the Strong-Tie® SDWS® Framing screw can be used as an alternative to 10d (0.125" x 3") box nails, when installed in the following configuration using 16" o.c. spacing.



Beam Assembly Detail*
Fastening pattern also applies to multiple ply of the built-up beam.

Building Code Requirements

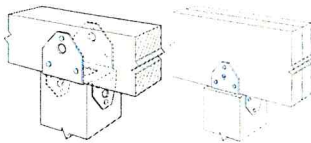
- Deck beams shall be fastened together with two rows of 10d (0.125" x 3") box nails minimum at 16" o.c. along each edge.

IRC 2018/2021/2024
Section R507.5
IBC 2018 Section 2304.10.1
IBC 2021/2024 Section 2304.10.2

- Deck beams shall be attached to wood posts in accordance with Figures R507.5.1(1) and R507.5.1(2), Figures R507.5.2 (1) and R507.5.2 (2) for IRC 2024 or by other equivalent means capable to resist lateral displacement.

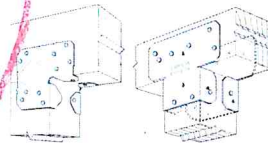
IRC 2018/2021/2024
Section R507.5.2

Beam-to-Post Connections



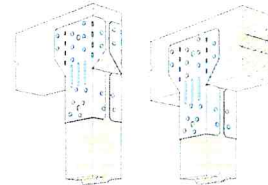
BC/BCS Post Cap

BC: For single-member solid sawn beams.
BCS: Connects double 2x's to a 4x post or triple 2x's to a 6x post. ZMAX™ coating or stainless steel recommended.



LCE™/AC Post Caps

Two-piece cap should be installed in pairs before or after lumber is in place when the sides of the post and beam are flush. ZMAX™ coating or stainless steel recommended.

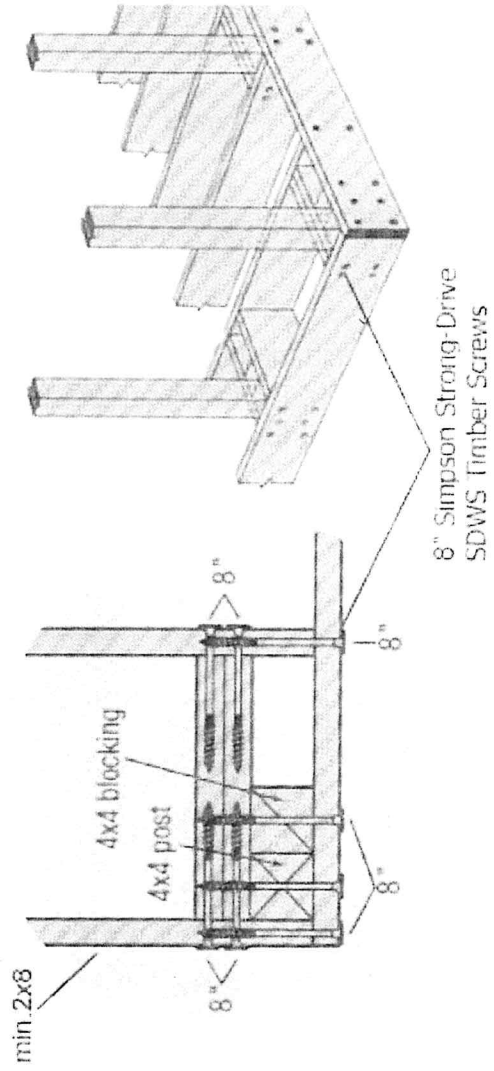


ACHZ™ Post Caps

Two-piece cap should be installed in pairs and may be installed before or after lumber is in place.

At the point where a beam meets a post, it must be properly connected to the post in order to resist gravity, lateral and uplift loads. This pertains to solid sawn beams or those comprised of multiple members, whether they rest on top or are fastened to the side of the post. For one-sided installations with LCE/AC and ACHZ post caps, refer to LCE ONEPOSTCAP on strongtie.com.

Single Outside Corner Post (inside rim joist)



Plan View

Deck and Post Height

Design height is 47" from the top of the decking to the ground level.

The top of the deck support posts (the bottom of the beam) will therefore be 28" +/- above ground level.

There will be angle bracing on all four posts.

Joists

Set joists on top of beams, 12" on center.

Footing Concrete Pad

Maximum Tributary Area about 42 sf.

Assuming 1500 psf soil, calculation using IRC 2021 table R507.3 gives 16.1" diameter of round with 6"+ thickness. We will be using 17" diameter base footing.

Four (4) footings, each 42+ inches deep. Each footing 17" diameter.

For a concrete pad of 6+ inches thick, each footing requires about 3/4 cu.ft. concrete.

Let's figure three 50lb bags of 5,000psi mix per footing hole.

As an aside, I'm creating a "footing pad" and burying the 6x6 post rather than using a 4' tall concrete footing tube simply because I'd rather mix 12 bags of concrete than 80 bags.

Tributary Calculation (IRC-2021 R507.3)

- Four (4) symmetric footings, each Tributary area is 42SF (6x7 region)
- Loads: 40 + 10 PSF loads give 2100 lbs/footing
- Using 1500PSF soil, gives 1.4 SF footing.
- 1.4SF gives a 16.1" diameter. I'll use 17" to be safe.

Footing Post Information

- 6x6 at 6' of 'mixed' Southern Pine has a compression strength of about 14,965 lbs, but we are only needing 2100 lbs.
- Note: unlike spans, for the post we WANT the heartwood rings - hopefully centered.

Connectors

Joist to Beam	Hurricane Tie	ZMAX H2.5A - 16" tie or ZMAX H1A	Qty: 24 Qty: 24
Rim Joist Corner	4x4 Railing Post	2x10 and 4x4 Blocking with 8" Timber Screws	Qty: 4
Post to Beam	Post Cap	ZMAX BCS3-3/6Z (or similar)	Qty: 4

Fasteners

8" Timber Screws	StrongDrive	72 + 24 + 18	150	
5" Timber Screws	StrongDrive	60 (blocking) + 72 (mid block) + 50 (beam ply)	200	
Tie Screws #9 x 1 1/2"	StrongDrive SD9112	10 x Ties	250	
Post Cap Screws #9 x 2 1/2"	StrongDrive SD9212	12 x Caps	50	

Bill of Materials – Structure

Deck Structure: (ground contact SYP PT)

2"x10" x 12'	- Qty: 8	DropBeam=6, Rim=2	- purchase at 14'
2"x10" x 14'	- Qty: 12	Joists=10, Rim=2	- purchase at 14'
2"x10" x 6'	- Qty: 2+4 + 3	Blocking	
2"x6" x 8'	- Qty 4	horiz deck bracing	
2"x6" x 6'	- Qty 4	vert beam bracing	

Ground Posts: (buried ground contact SYP PT)

6"x6" x 8'	- Qty 4	Buried Ground	(8' at \$38 ea)
Post Wrap	- Qty 4	6x6 x 18" RotBlock post wrap	\$4 ea

Railing Guard Posts: (SYP PT)

4"x4" x 4' - Qty: 10 posts + 1 blocking

Railing Guard: - SYP or #1Cedar or similar

2"x4" x 4'	- Qty: 18	Upper & Lower Railing Frame
2"x2" x 3'	- Qty: 42+36+36= 114	Baluster (Cedar \$5ea) (SYP PT \$2ea)

Decking: – Trex or similar (or cedar if HDC forces)

5/4" x 6" x 6'	- Qty: 56	Horiz Decking
5/4" x 6" x 8'	- Qty: 6	Horiz Decking Center Pattern
5/4" x 6" x 8'	- Qty: 6	Top of railings

Plus a couple extra of each – just in case



Historic District Commission Staff Report

City of Kalamazoo

TO: The Kalamazoo Historic District Commission

FROM: Luis Pena, Historic Preservation Coordinator

DATE: June 17, 2025

SUBJECT: 2. 802 S Burdick - New Construction (Construction of multi-use building)
PPZ25-0025

PROPOSED WORK:

From the Description of Work Supplied by the Applicant: Construction of a 5 story mixed-use building.

EVALUATION:

Project Details

Construction of 5 story mixed-use building at the southwest corner of Burdick and Vine.

Applicable Criteria

Secretary of the Interior's Standards for Rehabilitation

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The proposed construction will be differentiated from the old through the use of modern materials and new construction styles. Some of the proposed materials (such as brick) will be compatible with the surrounding structures in the area. The massing of the building, essentially 2 large wings or an 'L' shape, will also be compatible with the surrounding structures present. The size and scale of the building, while larger than some of the surrounding houses, is compatible with the larger buildings to the east. The elevations of the building are relatively unadorned and would not adversely effect the historic integrity of the surrounding buildings.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If removed in the further, the integrity of the historic environment would remain unimpaired.

Discussion

The proposed building, while larger than some of the adjacent houses, will be compatible with the overall environment at the corner of Vine and Burdick. Several large buildings can be found to the east of the proposed location on Bronson's campus. Other large scale structures include the church on the east side of Burdick, the parking ramp on the north east corner of Burdick and Vine, and the Skyrise Apartments 2 blocks to the north. The use of brick on as a cladding material ties the proposed structure in with many of the existing historic brick structures in the area. The modern style, and use of metal siding, differentiates the proposed building from surrounding historic properties and avoids the creation of a false sense of history.

POTENTIAL ACTIONS:

1. The proposed work complies with the Secretary of the Interior standards 9 and 10. **Action: Motion to approve a Certificate of Appropriateness for the work as described in the application.**
2. More information is needed. **Action: Motion to postpone until the HDC meeting on 15 July 2025 and direct the applicant to provide the requested materials and information to the Historic Preservation Coordinator by noon on 08 July 2025.**
3. Denial of the application. **Action: Motion to deny the application based on Secretary of the Interior Standards 9 and 10.**



Community Planning and Economic Development
 Historic District Commission
 245 N. Rose Street
 Kalamazoo, MI 49007
 Telephone: (269) 337-8804; FAX (269) 337-8513
Penal@kalamazoo-city.org

APPLICATION FOR PROJECT REVIEW – Historic District Commission Hearing

COMPLETE Applications for review at the Historic District Commission meeting including payment of the \$85 hearing fee must be received by NOON on the 2nd Tuesday of the month- the meeting is on the 3rd Tuesday of the month.

(PLEASE PRINT CLEARLY - See instructions on reverse side)

Property Address: 107, 115, 119 W Vine Street Kalamazoo, MI 49007

Historic District: South/Vine Stuart West Main Hill Rose Place Haymarket

Applicant: Bogan Developments Owner: Westley Development Company, LLC

Mailing Add: 801 N Pitcher St Mailing Add: 601 John Street, Box 9

City State & Zip: Kalamazoo, MI 49007 City, State Zip: Kalamazoo, MI

Phone: (908) 875 4999 Phone: 269 341 4077

Email: jamauri @ bogandevlopme Email: millikeg @ bronsonhg.com

Contractor Bogan Developments

Work to be done by owner

Proposed Work: Use additional sheets to describe work if necessary

See attached

() *This property has at least one working smoke detector for each dwelling unit.*
 (Owner or applicant's initials) (Required) * see back

Applicant's Signature: Jamauri Bogan Date: 6/10/2025

Owner's Signature: [Signature] Date: 6.10.2025
 (if different)

APPLICATION CHECKLIST:
Include all these items are in your submission. Incomplete applications will be held until the next review hearing.

- Drawings 11x17 or smaller with dimensions
- Materials list
- Site plan including north arrow
- Other:
- \$85 for HDC hearing & review fee – must be paid in advance to be placed on agenda – include WITH application – Check payable to: City of Kalamazoo

-For Historic Preservation Coordinator's Use Only-

Case Number: PPZ- 25-0025 Date Received*: 06/10/2025
 Zoning CC Year built N/A Complete application _____
 Owned since _____

COMMISSION Meeting Date 06/17/2025 Hearing fee paid \$85 _____
 COMMENTS _____ Check # _____

Approve in Concept Date _____ Letter mailed _____

FINAL ACTION

Approve Site Visit Approve w/Conditions Deny Postpone Withdrawn

ACTION DATE _____
 Certificate of Appropriateness Issued _____
 Notice of Denial with appeals information _____
 Notice to Proceed _____ Comments _____

APPLICATION FOR PROJECT REVIEW – Historic District Commission Hearing

COMPLETE Applications for review at the Historic District Commission meeting including payment of the \$85 hearing fee must be received by NOON on the 2nd Tuesday of the month- the meeting is on the 3rd Tuesday of the month. Incomplete applications will be postponed until the next meeting.

Filling out the application – instructions and tips – PLEASE PRINT.

Property address: street address of the property where the work will be done

Historic district: Stuart, South Street/Vine Area, Haymarket, West Main Hill or Rose Place

Applicant: Owner or the owner's contractor.

Owner: Legal owner of property

Mailing Address: Applicant's address

Mailing Address: Owner's address

City, State & Zip:

City, State & Zip:

Phone: Specify home or work

Phone: Specify home or work

Email

Email

Name of the contractor if this project requires a building permit Or indicate work done by owner

Proposed Work: What work do you plan to do? Please be as specific as possible including a complete description of the part of the structure where work will be done.

Example #1: Rather than "Build new garage"

Say "Build new two car garage near northeast corner of lot, wooden frame with clapboard siding, paneled metal overhead door, service door on the north side and one window at the rear. "

Example #2: Instead of "New front door"

Say "Install a new wooden front door to fit original opening in width and height, to replace the existing metal paneled door. See drawing/photo for appearance" Specify the measurements of the width and height of the original opening. Include a storm door if that is part of the project

For more complex projects, please include as many **continuation or illustration sheets** as you need to present a clear picture to the commission of your proposed work.

- Drawings – black or blue black ink on white paper. Electronic submissions are encouraged. Drawings should include dimensions of the existing part of the building and the proposed work.
- You need submit only one set of drawings; city staff will make the necessary copies.
- Use the checklist to be sure you have supplied all the important information.
- For new construction) exterior stairs, new garage, reconstructing a porch, etc) a site plan WITH a north arrow is required.

*() This property has at least one working smoke detector for each dwelling unit. Please initial to verify at least one working smoke detector in each dwelling unit. This is REQUIRED by state law or the application will be considered incomplete.

PHOTOS: The historic preservation coordinator is responsible for taking photographs of the proposed work and the structure. If you wish to take additional photos, one set is usually adequate for the commissioners to examine. You may also bring photos on a USB drive to share with the commission.

Emergency repairs: If damage occurs to a structure in a historic district, which requires emergency repairs, steps may be taken to secure the structure without the approval of the commission or the coordinator. Cover damaged windows or holes in a roof with tarps or wood to prevent further damage. Support dangling or loose elements or remove and store them. Notify the Coordinator of the damage to the structure on the first weekday available after the damage occurs and the coordinator will visit the structure as well as arranging a site visit by commission members to approve repairs if necessary. **THIS WILL BE DONE AS QUICKLY AS POSSIBLE IN ORDER TO FACILITATE REPAIRS OF THE STRUCTURE IN A TIMELY MANNER.**

If you have questions about completing this application for project review, please call the Historic Preservation Coordinator at: (269) 337-8804 or by email at Penal@kalamazoo.org

GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE TO THE EDGE OF METAL.
- PROVIDE CURB CUTS/RAMPS AT ALL BARRIER FREE ACCESS POINTS.
- PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND MICHIGAN BARRIER FREE CODE.
- SEE LANDSCAPE PLANS FOR HARDSCAPE, DETAILED GRADING IN LANDSCAPED AREAS AND SIGNAGE.
- SEE ARCHITECTURAL PLANS FOR MORE DETAILS ON TRUCK DOCK WALLS, STAIRS, AND RAMPS.
- MATCH EXISTING CURB & GUTTER SECTIONS WHEN CONNECTING TO THEM. CONDITIONS VARY THROUGHOUT PROJECT.
- EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AND CITY OF KALAMAZOO STANDARDS SPECIFICATIONS.
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- ALL EXTERIOR CONCRETE SHALL BE MDOT GRADE P1 (3500PSI), AIR ENTRAINED, LIMESTONE AGGREGATE, BROOM FINISHED, CURING SEAL.
- THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS II GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
- ANY BITUMINOUS OR CONCRETE PAVEMENT, SANITARY SEWER, SANITARY SEWER SERVICE LEADS, OR STORM SEWER, WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- ALL UNSUITABLE SUBBASE MATERIAL MUST BE REMOVED TO A MINIMUM DEPTH OF 24" BELOW THE TOP OF THE SUBGRADE OR AS DETERMINED BY THE COUNTY ENGINEER.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

SITE LEGEND

- (HMA) HMA PAVEMENT
- (B4) B4 CURB AND GUTTER
- (C4) C4 CURB AND GUTTER
- (IC) INTEGRAL CURB
- (CW) CONCRETE WALK
- (CS) CONCRETE SURFACE
- (PS) PARKING STRIPING (10'x20')
- (W) WALL (TYPE)

LEGEND

- STANDARD-DUTY BITUMINOUS PAVEMENT
- HEAVY-DUTY BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT AND SIDEWALK
- HEAVY-DUTY CONCRETE PAVEMENT
- PROPOSED BUILDING
- PARKING STRIPING (BLUE)
- PARKING STRIPING (WHITE)
- PARKING STRIPING (YELLOW)
- CURB AND GUTTER

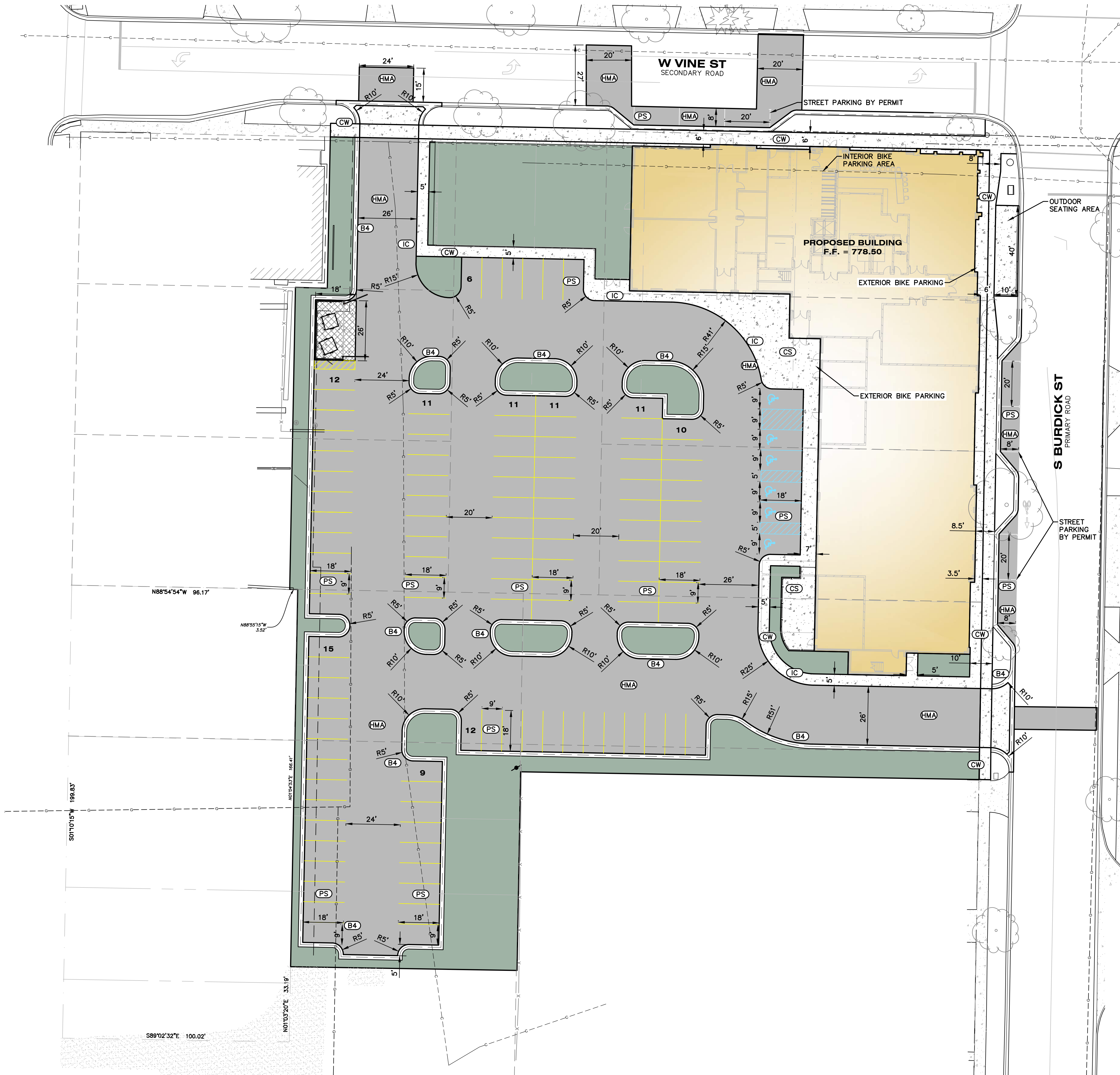
ZONING REQUIREMENTS

ZONING
THE SITE IS ZONED D3 (DOWNTOWN 3)

PROPOSED USE
FACILITY USE
CONSTRUCTION TYPE MIXED-USE

PARKING
TOTAL PARKING PROVIDED = 121 SPACES
108 PARKING LOT + 6 BARRIER FREE + 7 STREET
BARRIER FREE SPACES REQUIRED = 5
BARRIER FREE SPACES = 6 PROVIDED
ALL BARRIER FREE SPACES DESIGNED PER ADA REQUIREMENTS
TYPICAL PARKING SPACE DIMENSION = 9'X18'

LANDSCAPING
TOTAL PARKING LOT AREA = 43,516 SFT
REQUIRED PARKING LOT LANDSCAPING AREA = 2,176 SFT
PROPOSED PARKING LOT LANDSCAPING AREA = 2,671 SFT



Program	Parking Ratio	Details	Factor	Max Parking	Parking User Goal	Parking	Min. Bikes
Residential - Apartment Unit	1 per Dwelling Unit		84	-	84	100%	84
Commercial - General Retail - Grocery	1/330 SF		944	2.9	100%	3	0.00
Commercial - General Retail - Fitness	1/330 SF		6953	21.1	100%	21	1.40
Commercial - Eating and Drinking Establishments	1 per 4 persons at maximum occupancy; 1 per 2 employees at largest shift	Dining Area: 1490 GSF, Service 970 GSF, Max Staff: 12 / Occupancy: 55	55/4 + 12/2	20	100%	20	1.33
Commercial - DayCare	1 per employee on largest shift, in addition commercial facilities: 1 per 4 children	Occupant Ratio: 1 Student per 50SF of classroom space and 100SF of outdoor space. Employees: 4 Students: 40	4/1 + 40/4	14	100%	14	0.93
Institutional - School	2 per 3 employees at largest shift, plus 1 per 10 students enrolled in grades 10 to 12						
10% Street Parking						142	20.5
						-14	
						128	

Street Typology	Overall Widths			Sidewalk Width		Amenity Zone Width	
	Target	Min. "A" (parking)	Min. "B" (no park.)	Target	Minimum	Target	Minimum
Urban Center (UC)	22'	18'	19'	10'-12'	8'	12'+	10'
Event/Festival (E/F)	16'	12'	19'	10'-12'	8'	8'-12'	4'
Downtown Main (DM)	14'	12'	19'	6'-10'	6'	8'+	6'
Neighborhood Business (NB)	14'	12'	19'	6'-10'	6'	8'-10'	4'
Community Business (CB)	16'	12'	19'	8'-10'	6'	8'-12'	4'
City Connector (CC)	16'	12'	19'	8'-10'	6'	8'-12'	4'
Neighborhood Network (NN)	14'	12'	19'	6'-10'	6'	8'-12'	6'
Enhanced Neighborhood (EN)	12'	9'	12'	6'-8'	5'	6'-12'	4'
Local Neighborhood (LN)	12'	9'	12'	6'	5'	6'-12'	4'

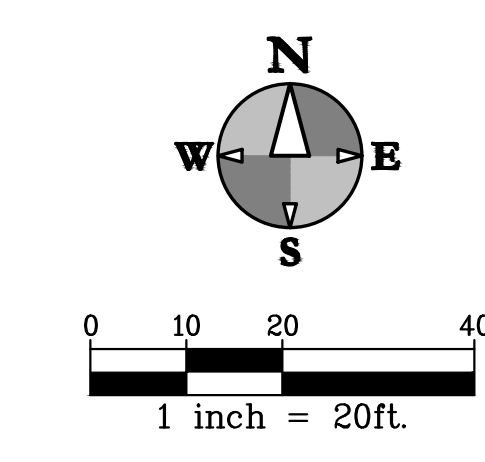
STREET DESIGN MANUAL COMPLIANCE					
ELEMENT	TARGET	MIN	MAX	EXISTING	PROPOSED
W VINE ST - ENHANCED NEIGHBORHOOD					
SIDEWALK	6-8'	6'	-	5'	6'
AMENITY ZONE	6'-12'	4'	-	9'	8'
OVERALL WIDTH	12'+	9'	-	14'	14'
PARK SP WIDTH	-	7'	8'	-	8'
PARK SP LENGTH	20'	18'	-	-	20'
S BURDICK ST - NEIGHBORHOOD BUSINESS					
SIDEWALK	6'-10'	6'	-	5'	8.5' (3.5' PRIVATE)
AMENITY ZONE	8'-10'	6'	-	8'	8'
OVERALL WIDTH	14'+	12'	-	13'	16.5'
PARK SP WIDTH	-	7'	8'	-	8'
PARK SP LENGTH	20'	18'	-	-	20'

BENCHMARKS

ELEVATIONS OF THIS SURVEY ARE BASED ON NAVD 88 AS DERIVED FROM GPS

BM 13 EL = 779.47'
CUT X ON BURY BOLT OF HYDRANT ON THE SOUTHWEST CORNER OF FELLOWS AVE AND S BURDICK ST.

BM 14 EL = 776.36'
FOUND COTTON SPINDLE IN NORTH FACE OF UTILITY POLE ON THE SOUTHEAST CORNER OF E VINE ST AND S BURDICK ST.



TowerPinkster
Architecture · Engineering · Interiors

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUED FOR _____ DATE _____

PROJECT TITLE
THE B ON BURDICK

OWNER
BOGAN DEVELOPMENT

SHEET NUMBER
C-3

DATE
JUNE 10, 2025

SHEET TITLE
SITE LAYOUT PLAN

S BURDICK ST & W VINE ST
KALAMAZOO, MI

BOGAN

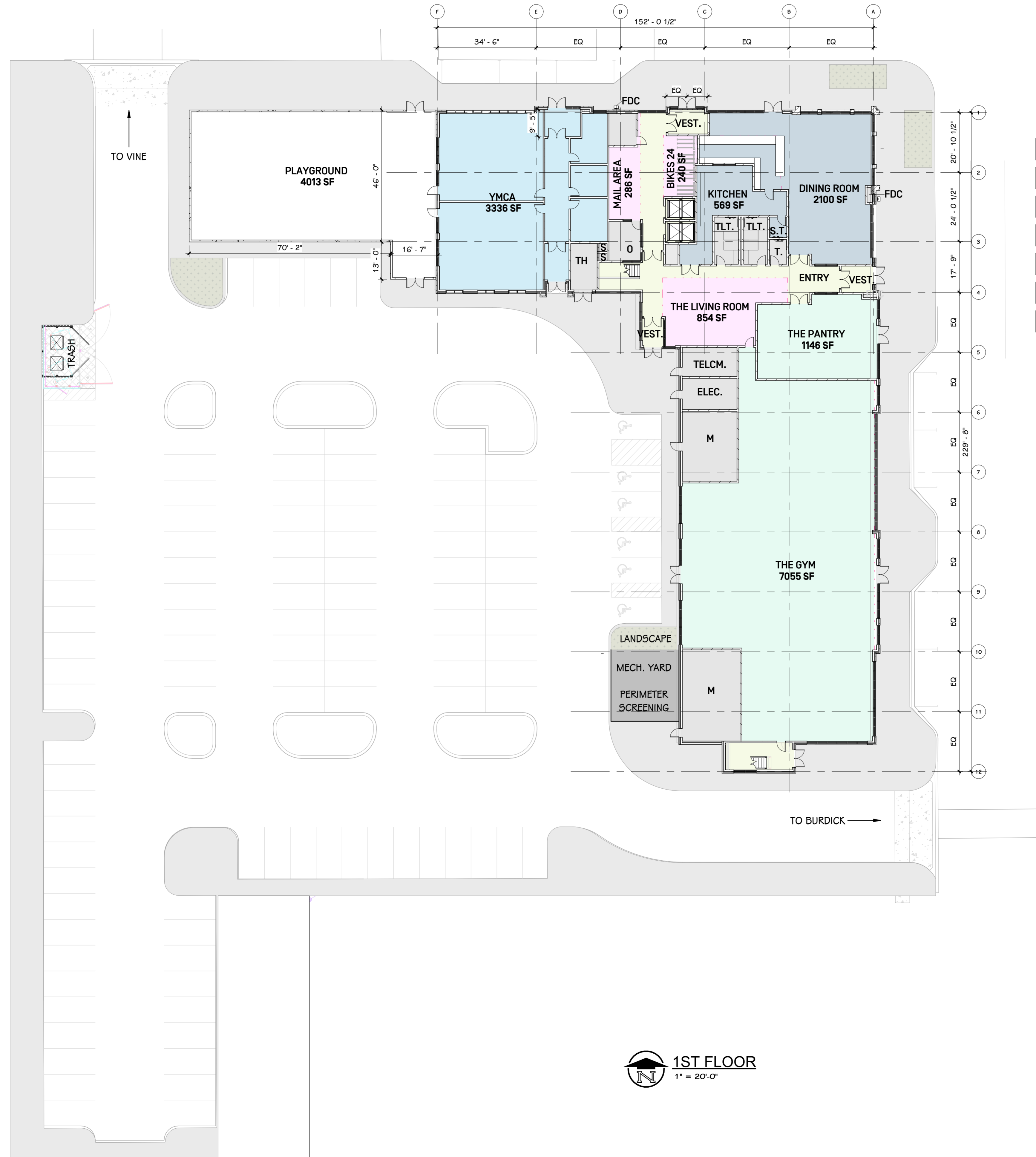
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LANDSCAPE LAYOUT PLAN



ZONING STANDARDS - FLEX LOT TYPE (50-5.6)			802 N. BURDICK ST		
District: D-3			PRIMARY STREET: N. BURDICK ST. SECONDARY STREET: W. VINE ST.		
1. BUILDING SITING					
a) STREET FRONTAGE					
MULTIPLE PRINCIPAL BUILDINGS:	ALLOWED: YES	PROVIDED: 1	82% @ N. BURDICK ST		
FRONT LOT LINE COVERAGE:	70% MIN				
OCCUPATION OF CORNER:					
FRONT BUILD-TO-ZONE:	YES	YES	5'-0" @ N. BURDICK ST		
CORNER BUILD-TO-ZONE:	10'-0"	10'-0"	0'-0" @ W. VINE ST		
ROW ENCROACHMENT:	YES	YES?			
b) LOT AREA					
SIDE YARD SETBACK:	ALLOWED: 0'-0"	PROVIDED: 40'-0"			
REAR YARD SETBACK:	0'-0"	60'-0"			
		10'-0" (NEXT TO R DISTRICT)			
c) PARKING, LOADING AND ACCESS					
PARKING LOCATION:	ALLOWED: REAR YARD	PROVIDED: REAR YARD			
LOADING / SERVICE LOCATION:	REAR, SIDE, CORNER SIDE	REAR YARD			
VEHICLE ENTRANCE BAY DRIVEWAY LOCATION:	ALLEY	BOTH SIDE ENTRY (SECONDARY ST.)			
2. HEIGHT ZONING REQUIREMENT					
ALLOWED:					
MINIMUM HEIGHT:	1 STORY	PROVIDED: 3 STORY			
MAXIMUM HEIGHT:	5 STORY	5 STORY			
GROUND FLOOR (FEET):	14'-0"	14'-0"			
UPPER FLOOR(S) (FEET):	12'-0"	12'-0" (2ND- 5TH FLOORS)			
2. USES ZONING REQUIREMENT					
ALLOWED:					
GROUND FLOOR(S):	ALL PERMITTED USES PER DISTRICT	COMMERCIAL			
UPPER FLOOR(S):	ALL PERMITTED USES PER DISTRICT	RESIDENTIAL (R-2)			
OCCUPIED SPACE RESTRICTIONS					
	15'-0"	15'-0" YES, WITH SMALL F.D.C. ROOM AS REQUIRED, ON SECONDARY STREET			
ACCESSORY USES AND STRUCTURES					
	SECONDARY BLDG PER 4.5-1	NA			
4. STREET-FACING FACADES (a) TRANSPARENCY (MIN)					
ALLOWED:					
GROUND FLOOR:	70% MIN BETWEEN 2'-0" AND 8'-0" ABOVE SIDEWALK	PROVIDED: 75% S. BURDICK ST. 70% W. VINE ST.			
UPPER FLOORS:	20% PER FLOOR MINIMUM	45% S. BURDICK ST. 40% W. VINE ST.			
BLANK WALL LIMITATIONS:	YES	YES			
(b) ENTRANCE:					
ALLOWED:					
LOCATION:	FRONT FACADE, BLDG. CORNER STOREFRONT, STOOP	CORNER STOREFRONT STOREFRONT			
ENTRANCE TREATMENT:	ENTRANCE ON STREET-FACING FACADES	1 PER 60' OF BUILDING LENGTH YES, ON S. BURDICK ST. YES, ON W. VINE ST. YES, PER PLANS			
OTHER FACADE ENTRANCES:	YES	YES, PER PLANS			
(c) ROOF TYPE:					
ALLOWED:					
TOWER:	PERMITTED	NO			
SPIRE:	NOT PERMITTED	NO			



- Department Legend**
- AMENITIES
 - CIRCULATION
 - DAYCARE
 - GENERAL RETAIL
 - PLAYGROUND
 - RESTAURANT
 - SUPPORT

FIRST FLOOR PLAN
As indicated





EXTERIOR ELEVATION KEY	
	BRICK 1, COLOR: BLACK
	BRICK 2, COLOR: RED
	METAL PANEL 1, COLOR: DARK GRAY
	METAL PANEL 2, COLOR: LIGHT GRAY
	PRECAST CAST CONCRETE, COLOR: LIGHT GRAY COMMUNITY MURALS TO BE PAINTED AT THESE LOCATIONS



PRIMARY AND SECONDARY STREET ELEVATIONS
1/8" = 1'-0"





C BURDICK ST - PERSPECTIVE
A 03



B VINE ST - PERSPECTIVE
A 03



A CORNER - PERSPECTIVE
A 03



Historic District Commission Staff Report

City of Kalamazoo

TO: The Kalamazoo Historic District Commission

FROM: Luis Pena, Historic Preservation Coordinator

DATE: June 17, 2025

SUBJECT: 3. 224 (214) E Michigan - Alteration (Installation of 1 door and replacement of 2 windows) PPZ25-0026

PROPOSED WORK:

From the Description of Work Supplied by the Applicant: Attached you will see 4 pictures of the current windows. We will be leaving the existing entry door for tenants alone on the far left so we are only changing the 3 identical windows. They are currently not historic and are made out of vinyl. They are all approximately 92 inches tall and 36 1/2 inches wide with very slight differences.

We plan to replace the window on the left with a standard commercial glass door. The center window and the window on the right will be replaced with standard looking single hung windows of the same width but will come down to bar height of 43 inches. That area from the current sill to bar height will be filled in professionally and a bar type top will top the area that the window comes down onto. The windows will then come down onto the bar but not have a frame on the bottom. We also attached a different type of window that we were pursuing that opens up and out which can be seen in some attached information.

I have attached 2 quotes from Blackberry systems and Dave's Glass for the exact same job that indicates what they plan to do and what materials and brands they use although neither came with a picture. Just a description that they are more or less standard single hung windows. Again, the pictures attached of new window products are not what the quotes indicate as they were too pricey but were of interest to us for the style so I am including them for your feedback in case we locate some that are within budget.

EVALUATION:

Project Details

Alteration of three windows at the rear of the property. The western most window will be converted into a door. The two windows to the east will have replacement windows that are

shorter than the existing windows.

Applicable Criteria

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
The windows in question are non-historic windows, and removing them would not alter features that characterize the property. It is unclear whether or not the existing window sills are historic, but it is unlikely.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
As stated above, the existing windows in question are unoriginal, so removal of the windows will not effect the historic character. The brick arches over the windows are examples of craftsmanship that characterize the property. The replacement doors and windows will not be taller than the existing windows, and therefore can be retained.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
The proposed installation of windows and door will not destroy historic materials. The proposed windows and door will be differentiated from the old through the use of modern materials, but will be compatible with the overall design of the building.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
The proposed windows and door could be removed in the future without altering the form and integrity of the building.

Local Historic District Standards and Guidelines

Windows

If replacing the entire window becomes necessary, the following conditions shall be applied:

- The dimension of the original window must be retained.
 - *The proposed windows will be shorter than the existing windows, but retain the width*
- Muntins, sash, frames, exterior casing and brick molds must be of material and dimensions to match other windows in the house.
 - *The rest the windows on the property are relatively unadorned, single lite windows.*

- Metal windows may be considered for some applications, such as basement windows if they match the dimensions of the original windows.
 - *The proposed windows will be metal*

Discussion

The proposed replacement of non-historic windows, and the installation of a door in place of a non-historic window, will not alter the historic character of the property in question.

POTENTIAL ACTIONS:

1. The proposed work complies with the Secretary of the Interior standards 2, 5, 9 and 10. **Action: Motion to approve a Certificate of Appropriateness for the work as described in the application.**
2. More information is needed. **Action: Motion to postpone until the HDC meeting on 15 July 2025 and direct the applicant to provide the requested materials and information to the Historic Preservation Coordinator by noon on 08 July 2025.**
3. Denial of the application. **Action: Motion to deny the application based on Secretary of the Interior Standards 2, 5, 9 and 10.**



RECEIVED JUN 09 2025 BY: Casey

Community Planning and Economic Development
Historic District Commission
245 N. Rose Street
Kalamazoo, MI 49007
Telephone: (269) 337-8804; FAX (269) 337-8513
Penal@kalamazoo-city.org

APPLICATION FOR PROJECT REVIEW – Administrative review

(PLEASE PRINT CLEARLY - See instructions on reverse side)

Property Address: 214 E. Michigan
Historic District: South/Vine Stuart West Main Hill Rose Place Haymarket
Applicant: Casey Houghton Owner: Peregrine Peninsula
Mailing Add: _____ Mailing Add: _____
City State & Zip: Kalamazoo MI 49007 City, State Zip: Kalamazoo MI
Phone: 269-297-2620 Phone: _____
Email: Casey@PeregrinePeninsula.com Email: _____@_____

Application Checklist:	
<input type="checkbox"/>	Drawings 11x17 or smaller with dimensions
<input type="checkbox"/>	Materials list
<input type="checkbox"/>	Site plan including north arrow
<input type="checkbox"/>	Other
<input type="checkbox"/>	\$35 - HDC review fee - charged with building permit

Contractor: _____

Work to be done by owner
 Contractors name: Spectra Contracting - Dave Glass

Proposed Work: (Use additional sheets to describe work if necessary)
Windows and back doors by Dave Glass

This property has at least one working smoke detector for each dwelling unit.
(Owner or applicant's initials, required) * see back

Applicant's Signature: _____ Date: 6-9-25

Owner's Signature: _____ Date: _____
(if different)

-For Historic Preservation Coordinator's Use Only-

Case Number PPZ25-0026 Date Received 06/10/2025
Zoning CCBD YEAR BUILT _____ Complete application _____
Owned since 01/01/2016 Fee Paid \$35 _____

- This project will require a building permit with a \$35 administrative review fee.
- This project will not require a building permit. There are no fees for this project
- Referred to the Historic District Commission for review at a monthly hearing - \$85 hearing fee.
Meeting date 6/17/25 25

ADMINISTRATIVE

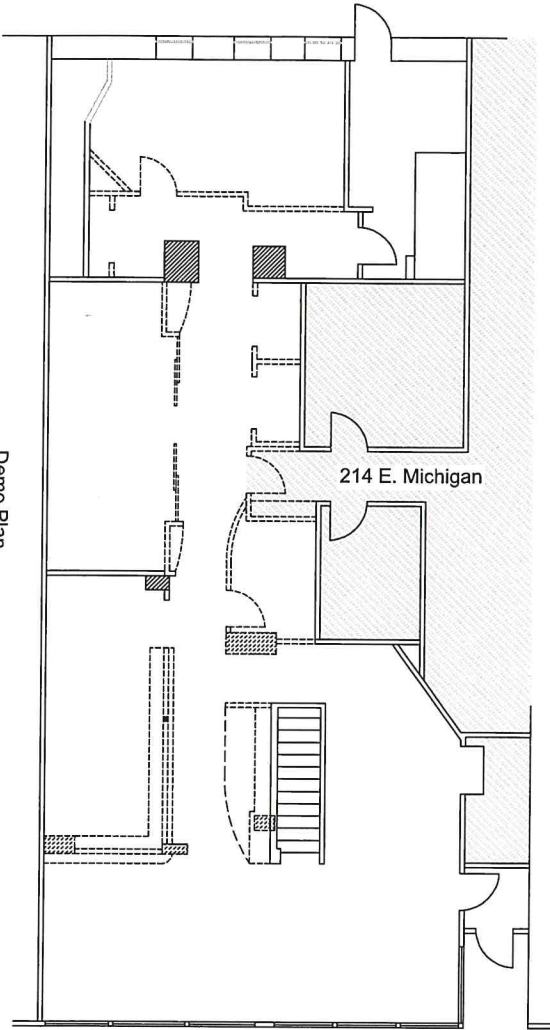
Staff Review Date _____ Approve Site Visit Approve w/Conditions

COMMENTS

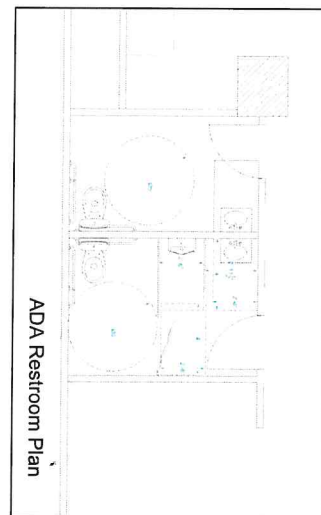
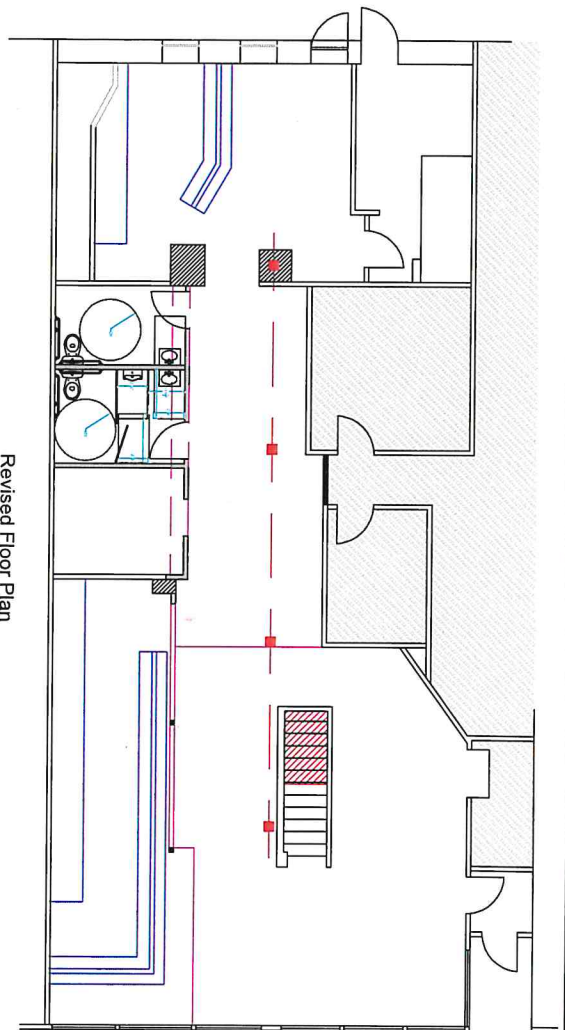
Certificate of Appropriateness Issued _____
Notice to Proceed _____

Referred to Historic District Commission for hearing* _____ \$85
fee Hearing date _____

Demo Plan



Revised Floor Plan



<p>Project Name and Address WINSTON'S 3811 E. COOK STREET CHICAGO, IL</p>		<p>Project No. 10-10-10</p>		<p>Scale 1/8" = 1'-0"</p>		<p>Sheet No. 1 OF 1</p>	
<p>Revision/Issue</p>		<p>No.</p>		<p>Date</p>		<p>By</p>	
<p>1</p>		<p>1</p>		<p>10/10/10</p>		<p>JKM</p>	
<p>2</p>		<p>2</p>		<p>10/10/10</p>		<p>JKM</p>	



DAVE'S GLASS SERVICE

8136 Shooting Star Lane
Kalamazoo, MI 49009

Estimate

DATE	ESTIMATE #
6/1/2025	28998

NAME / ADDRESS
ROCA Kalamazoo 247 S Kalamazoo Mall Kalamazoo, MI 49007

PROJECT

DESCRIPTION	QTY	COST	TOTAL
Project: 224 East Michigan			
Provide & Install Tubelite Aluminum Entrance Door & Transom for 3'0" x 9'6" opening. New door to be medium stile & rail, with rim panic exit device, keyed cylinder, surface closer.		9,740.00	9,740.00
Provide & Install (2) CRL Vertical slide pass thru windows approx 36" x 64". Windows to have no sill for bar pass thru.			
All aluminum to be dark bronze anodized with clear tempered safety glass.			
Openings to be prepped by others. Cost includes finish caulking to masonry surfaces. pass thru windows are recommended with overhang above Sales Tax		6.00%	0.00
I have reviewed the preceding quotation, and I find it acceptable. By signing below, I authorize Dave's Glass Service to proceed with the purchase and fabrication of the items herein.		TOTAL	\$9,740.00

Approved By: _____ Dated: _____

Quoted prices are good for 60 days.



FW: Downtown Bar

From Casey Longton <casey@saltoftheearthfennville.com>
Date Fri 5/9/2025 4:18 PM
To Office Salt of the Earth <office@saltoftheearthfennville.com>

Casey Longton
Owner
ROCA [rocakzoo.com]rocakzoo.com
Principle Food & Drink [principlekzoo.com]principlekzoo.com
The Waiting Room [twrnow.com]twrnow.com
Salt of the Earth [saltoftheearthfennville.com]saltoftheearthfennville.com
Be Inspired. Go Explore.

From: Michael Shields <mike@blackberrysystems.com>
Sent: Friday, May 9, 2025 3:23 PM
To: casey@principlekazoo.com; Casey Longton <casey@saltoftheearthfennville.com>
Subject: Downtown Bar

Casey
Here is some budget pricing for your potential project.
StoreFront Door with upper Transom , custom width of door panel @ 32"
Includes Kawneer thermally broken aluminum frames and door panel, dark bronze anodized finish, insulated glass, hardware and threshold installed, includes removal of existing window, frame, and trim, concrete removal by others. @\$7,775.00 Includes Tax.
Two window openings with thermally broken aluminum Single Hung Service window, Quaker windows, black painted powder coat finish, insulated glass, hardware, metal insulated panel below serving bar, includes removal of existing windows, Bar and below bar framing and interior trim by others.
@ 4,800.00 For Two Openings.
Mike


Michael K. Shields
Founder/Architectural and Historic Consultant

6477 West KL Ave.
Kalamazoo, MI 49009
PH 269-353-8844
Cell 269-207-5124
Email: mike@blackberrysystems.com
Residential Website: www.blackberrysystems.com



Fw: 224 E Michigan

From Casey Longton <casey@saltoftheearthfennville.com>
Date Mon 6/2/2025 1:35 PM
To Office Salt of the Earth <office@saltoftheearthfennville.com>

 1 attachment (110 KB)
28998 224 East Michigan.pdf;

Get [Outlook for iOS](#)

From: Derek Groendyk <derek@davesglass.com>
Sent: Monday, June 2, 2025 7:33:42 AM
To: casey@rocakzoo.com <casey@rocakzoo.com>
Subject: 224 E Michigan

Hi Casey,

Was great to meet you and hear about the potential new spot. I priced the door and windows for you and attached here. I can quote different window types as well, but for now started with what we call a vertical slide, but it is essentially like a double hung window but without a bottom sill. Seeing the other double hung units on the building, thought that might be keeping a similar look. We did this same window for Texas corners brewing from their bar that passes out to their beer garden and seemed to work well for them. It is recommended to have an overhang with these, but it can of course be done without as well.

Let me know on any thoughts, questions, or concerns, or if you'd like me to look into alternatives.

Thanks for the opportunity-

Derek

Derek Groendyk

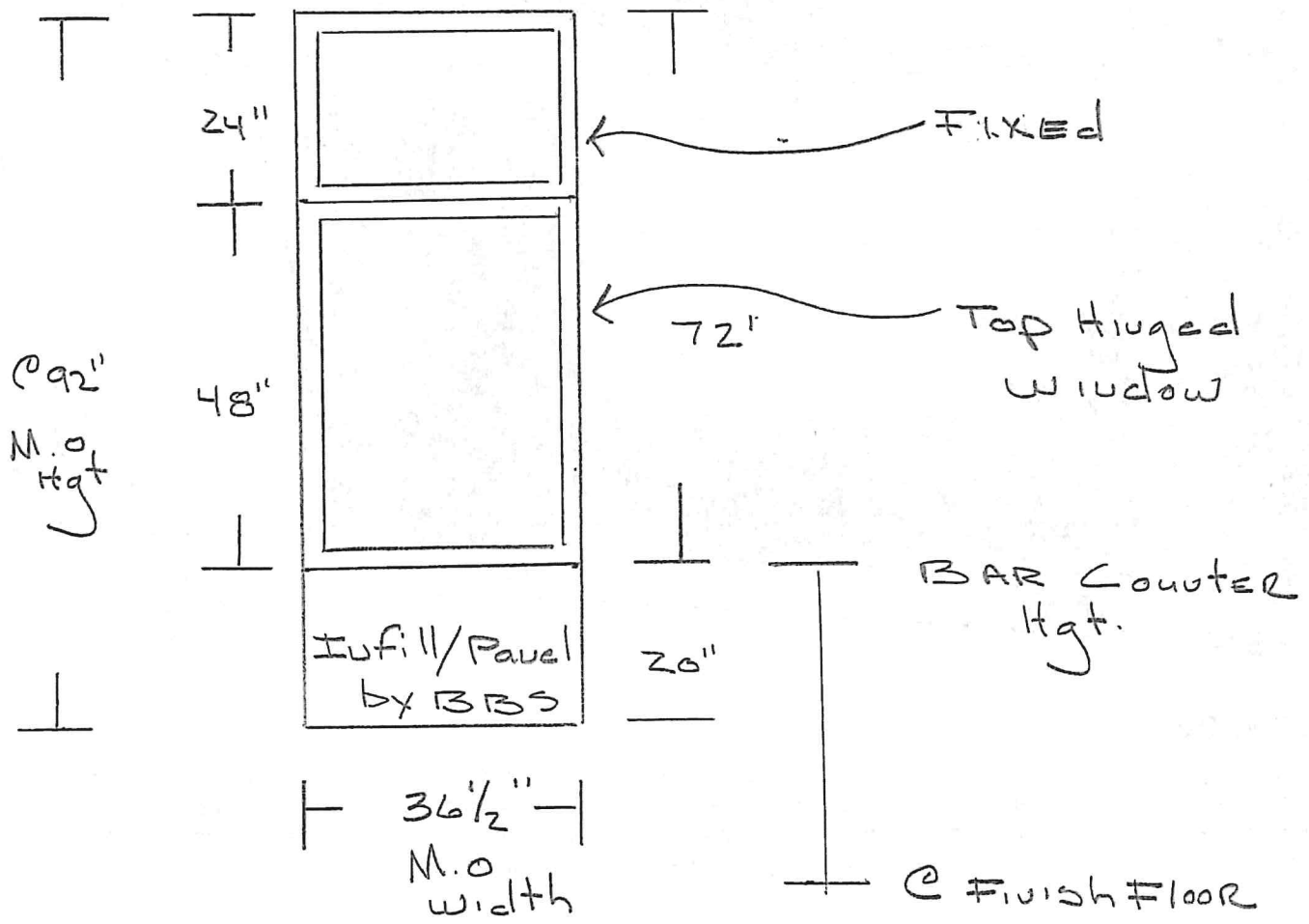


8136 Shooting Star Lane, Kalamazoo, MI 49009

269.375.2036 ph
derek@davesglass.com
www.davesglass.com

Subject: Downtown BAR

Date: 4/30/25



Color 2605 - BLACK
Glass. Low-E/Argon

QUESTION: Can Top Hinged come w/o Sill at Counter?

TOP-HINGED WINDOW SYSTEMS



SOLAR INNOVATIONS®
ARCHITECTURAL GLAZING SYSTEMS

Open wide!

The unique design of the top-hinged window system maximizes the entire opening, allowing the user to fully utilize the entire space. These manually-operated windows open and close effortlessly with the assistance of gas springs, that also hold the unit in place when fully opened. These thermally-enhanced aluminum windows feature the same two-point locking mechanism and sill found in our popular Folding Glass Wall systems. They make an excellent choice as a pass-through between indoor and outdoor spaces.

FEATURES

OPERATION:

- Outswing operation
- Manually operated

FRAMING:

- Frame width: 3 $\frac{3}{8}$ "
- Maximum panel size 8' wide x 4' tall; larger sizes may be available pending engineering approval
- LEED friendly system including recycled content

HARDWARE:

- Low profile handles
- 180° two point locking handles
- Extruded aluminum hinge with stainless steel pin

GLAZING:

- Monolithic and insulated glazing infills from $\frac{3}{16}$ " to 1 $\frac{1}{8}$ "

PERFORMANCE:

- Thermally enhanced utilizing thermal strut

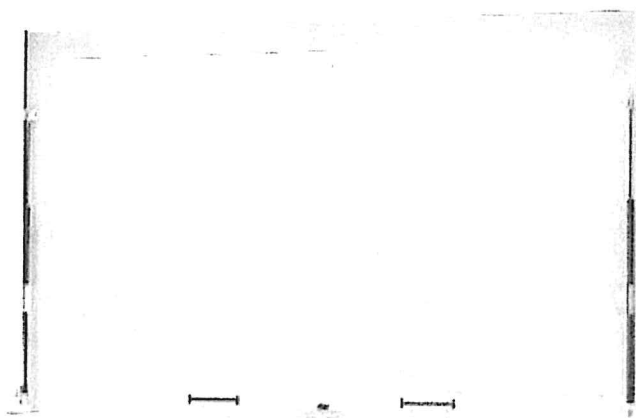
FINISHES:

- Standard AAMA 2603 paint finishes: Black, White, Sandstone, Natural Clay, Bronze and Hartford Green
- AAMA 611 Class I anodized finishes: Clear, Dark Bronze
- Standard AAMA 2605 powder coat finishes: Black, White, Sandstone, Natural Clay, Bronze and Hartford Green
- Premium AAMA powder coat finishes
- Custom finishes:
 - Fluoropolymer (50% or 70%): AAMA 2605
 - Faux wood (Decoral)
 - Dual finish — interior/exterior applications

OPTIONS:

- Wood veneer or metal cladding
- Manufacturer-installed sill drain tubes, if required
- Mullions, decorative muntins, simulated divided lites (SDLs), interior and exterior grids

HARDWARE



Handles



Low Profile Handle



Two-Point Locking Handle

Hinges



Semi-Concealed Hinge

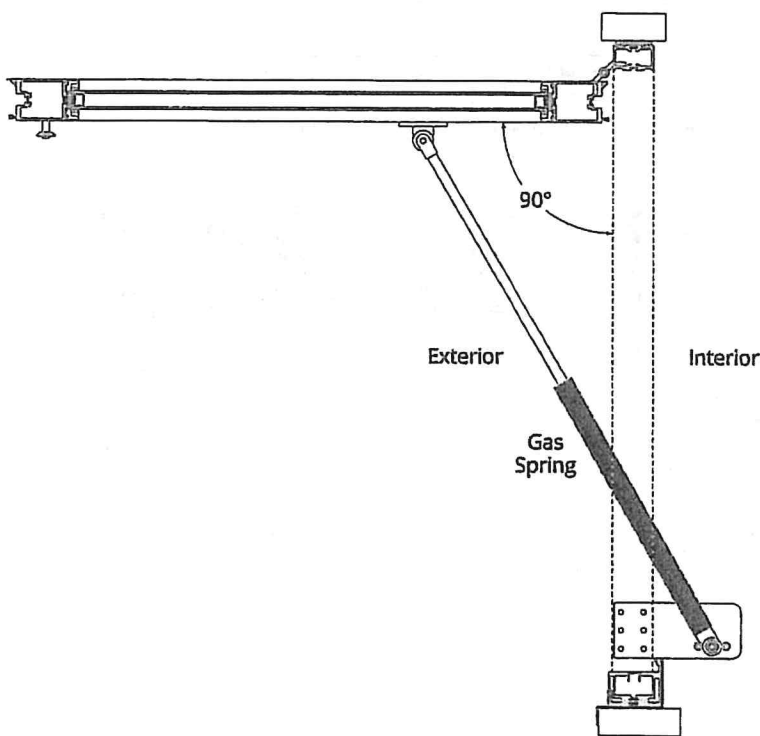
Shocks



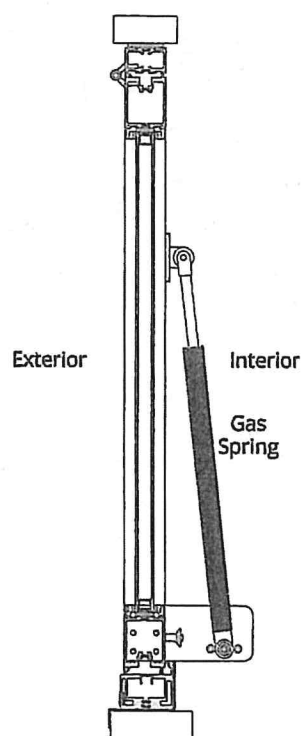
Gas Spring with Increased End Damping

Please Note: All hardware is subject to vendor availability. Custom finishes may be available upon request at additional lead time and/or cost. Solar Innovations® reserves the right to discontinue any hardware option at any time. Please be sure to visit our website for additional product information: www.solarinnovations.com

STANDARD DETAILS

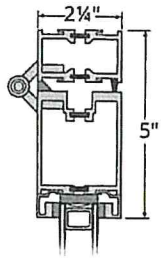


Open Position

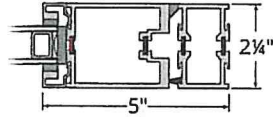


Closed Position

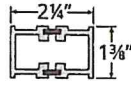
VERTICAL AND HORIZONTAL RAIL OPTIONS



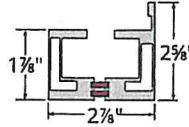
Head



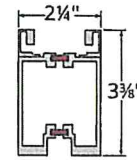
Jamb



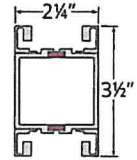
Outer Frame



Standard Sill



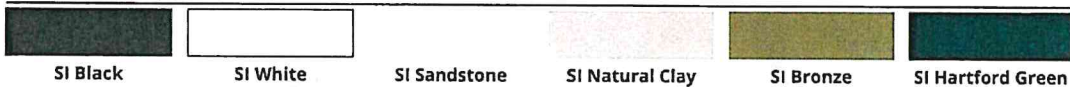
Standard Thermal Frame



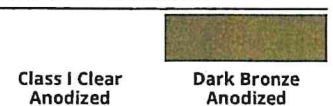
Standard Mullion

FINISH OPTIONS

Paint AAMA 2603 (5 year warranty). Finishes available while in stock.



Anodized Additional cost



Powder Coat Solids STANDARD - AAMA 2605 (10 year; up to 20 year warranty). Scratch & fade resistant; contains no VOCs.*



Powder Coat Solids PREMIUM - AAMA 2605 (10 year; up to 20 year warranty). Scratch & fade resistant; contains no VOCs.*



Visit <https://www.ifscoatings.com/content/assets/Uploads/brochures/IFS-Architectural-Digital-Color-Card.pdf> for additional metallic and anodic finishes.

Metal Clad STANDARD* (EXTERIOR ONLY)



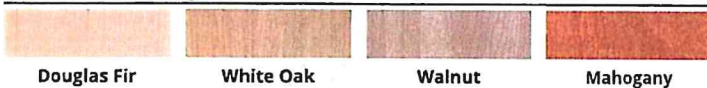
Metal Clad PREMIUM*



Decoral Finishes (Powder Coat)*



Wood Veneering (Unfinished) STANDARD*



Wood Veneering (Unfinished) PREMIUM*



Note: wood veneering is for interior applications only. Available on a limited basis due to vendor supply.

*Lead times subject to availability. ** Special order.

Note: Depending upon color selection, additional charges and increased lead times may apply. Extended warranties and service plans are available for an additional charge. Examples are shown as accurate as photography and printing processes allow. Final finish selection should be made from a physical sample; contact Solar Innovations® for samples. Product and finish options are subject to vendor availability. Solar Innovations® reserves the right to discontinue any option at any time without notice. Additional options, including custom color match, are available; contact Solar Innovations® for details.





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Historic District Commission Staff Report

City of Kalamazoo

TO: The Kalamazoo Historic District Commission
FROM: Luis Pena, Historic Preservation Coordinator
DATE: 17 June 2025
SUBJECT: Historic Preservation Coordinator's Report

Historic District Reviews

Review Type	Cost	Number of Reviews	Totals
Administrative	\$35	38	\$945
Hearing	\$85	4	\$765
		42	\$1,710

Administrative Reviews:

1025 W Kalamazoo	Roof
426 Elm	Rear door replacement, in kind non historic window replacement
1535 Grand	Roof
718 Axtell	Rear storm door
732 Axtell	Fence
736 Axtell	Fence
610 Axtell	Rear and side screen doors
829 Davis	Roof
738 McCourtie	Rear stair replacement
1309 Oak	Roof
517 Elmwood wood siding	Basement windows, storm windows, remove aluminum siding, install wood siding
316 Elm	Remove fence, stair repair
726 S Park	Roof
209 W Dutton	Roof
530 W South	Sign

Community Planning and Economic Development Department | 245 N. Rose Street, Ste 100, Kalamazoo, MI 49007
Voice: (269) 337-8744 | Fax: (269) 337-8513 | www.kalamazoocity.org