

Agenda

Zoning Board of Appeals

City of Kalamazoo



Thursday, January 8, 2026

7:00 PM

City Commission Chambers – 241 West South Street

A. CALL TO ORDER/ROLL CALL

B. APPROVAL OF MINUTES

1. Approval of minutes from the Zoning Board of Appeals meeting on December 11, 2025

C. COMMUNICATIONS AND ANNOUNCEMENTS

D. PUBLIC HEARINGS

1. ZBA #26-01-01: 3810 E. Cork Street. QuikTrip Corporation is requesting a dimensional variance from Chapter 50 -7.2, to authorize 49 off-street parking spaces, where the maximum number of off-street parking spaces for the proposed fuel station / convenience store is 40 parking spaces.
2. ZBA #26-01-02: 1617 N. Drake Rd. Discover Kalamazoo is requesting the following variances for the Kalamazoo County Youth Sports Facility:
 1. A variance from the Natural Features Protection Ordinance, Chapter 50, Section 50-6.2 H, to authorize the proposed development to encroach into protected slopes (which have a grade greater than 20%) and protected slope setbacks on the site.
 2. A variance from the Natural Features Protection Ordinance, Chapter 50, Section 50-6.2 G, to authorize an 11.5% reduction of the 25% woodland preservation requirement which will result in preservation of 13.5% of the existing woodland.
 3. A dimensional variance from Appendix A, Chapter 5.1, to authorize a height of 56 feet for the new facility, where the maximum height for structures in the RS-5 District is 35 feet.
 4. A dimensional variance from Appendix A, Chapter 5.1, to authorize a maximum impervious coverage of 56% for the site, where 45% is the maximum impervious coverage allowed in the RS-5 District.
 5. A dimensional variance from Chapter 50-7.3, to authorize 20 bike parking spaces for the facility, where 170 bike parking spaces are required based on the maximum occupancy of the sports complex.

E. DISCUSSION/ACTION ITEMS

F. REPORTS

G. ADJOURNMENT

**MINUTES
CITY OF KALAMAZOO
ZONING BOARD OF APPEALS
December 11, 2025 - 7:00 p.m.
CITY COMMISSION CHAMBERS**

Members Present: Allison Haan, Tony McReynolds, Beth van den Hombergh, Gary Wark, and Alan Sylvester (Alternate)

Members Absent: Joe Hohler III, Remi Harrington

City Staff: Pete Eldridge, Zoning Administrator; Charles Bear, Assistant City Attorney; Shelby Donaldson, Recording Secretary

Vice-Chair Wark called the meeting to order at 7:06 p.m.

Vice-Chair Wark asked if there were any changes to the agenda and Mr. Eldridge said no.

Mr. Eldridge performed a roll call of board members present for the meeting.

APPROVAL OF MINUTES:

Ms. Haan moved to approve the meeting minutes from November 13, 2025, as submitted, seconded by Ms. van den Hombergh.

The motion was approved by voice vote unanimously.

PUBLIC HEARINGS: Vice-Chair Wark summarized the process and explained the Zoning Board of Appeals public hearing rules of procedures. For each request, the secretary will read the application into the public record. The applicant or their representative will have 10 minutes to present their comments, followed by public comments in favor of the application where they will state their name and address and speak for four minutes. Following that those in opposition will be invited to speak for four minutes and afterward, those received via phone will be aired for the panelist and audience. The public can call in to 888-382-9556 to leave comments on any of the property on the agenda then the public hearing will be closed to that request. The Board would then conduct the finding of facts. The Board must approve the Finding of Fact. Therefore, the first vote you hear is not a ruling on the request, but the Finding of Fact, then the Board discusses the request to determine a ruling. The Board reserves the privilege to ask questions of people who have already spoken even though the public comment portion is closed. Once the discussion has

ended the Board moves onto a roll call vote. A full board consists of six members, and four affirmative votes are required to grant a motion for a non-use or use variance.

Mr. Sylvester read the application for 130 Portage Street into the record.

ZBA#25-12-22: 130 Portage Street: An application for a dimensional variance for the provisions of the Zoning Ordinance has been filed with the Zoning Board of Appeals by The City of Kalamazoo. The applicant is requesting a variance from Chapter 50-8.5 D 2(b)[2], to erect a 2.5-foot picket fence around the ground mounted mechanical units where a solid fence tall enough to screen the mechanical units is required.

Please note that this request will not change the zoning classification of the property. This is a request for a variance only regarding the items described above.

Mr. Brandon Woodle, a landscape architect with `Smith Group, spoke on behalf of Rebekah Kik, Deputy City Manager of the City of Kalamazoo. They are requesting a variance for a picket fence for improvements to Farmer's Alley. The project includes redeveloping the open pedestrian space in this location, which they are calling Farmer's Alley, but it is property between Farmer's Alley, Exchange Place and Portage Street. He said the pavement and the landscape are in poor condition so the city hired Smith Group for their design and engineering services and the project includes pedestrian paths, landscape irrigation, the fence around the mechanical equipment, the fence along the parking lot, and a security camera that will be put in concurrently with this project. He added the project won't include underground utilities or any curb or roadway paving and aligns with the 2025 Master Plan because it hits on the strategic goal of creating inviting public spaces. He then displayed a plan of the proposed improvements to Farmer's Alley which showed the sidewalk that will get replaced after removal of the current pavement and landscape and stated that the variance pertained to the screen fence around the existing equipment area. Mr. Woodle said there is landscape around that area but there is a public safety concern and stated there is an email from Matt Huber, a Deputy police chief with KDPS, in the packet provided by staff in support of a lower fence, in order to increase visibility through and around this space. He stated there have been issues in the past and by having the fence lowered, it will increase visibility in the space and increase the perception of safety for people that walk through there. Mr. Woodle showed a street view of the area taken in 2025 that showed the existing landscape and how it blocks the view through the space, which creates a blind corner and a place where people have hidden or slept behind. He then showed a slide of the proposed conditions and stated that the display on the screen doesn't include all of the mixture of species and plants that will be there, but it shows the height of the plants so the board can get a sense of what the request entails, it also shows an illustration of the proposed fence and he reiterated that a full sized fence would block visibility through the space. He then showed an image of the middle of the space and lastly the view from the Portage Street path and stated it was a view from the parking garage looking into that space. The next slide showed details that were in the packet regarding the construction of the picket fence and the general construction of it, including the materials.

Mr. Sylvester asked if they would be removing shrubs and trees and Mr. Woodle stated they would save one of the trees because it's in good health and they will get rid of some trees they don't recommend in the field anymore. He stated some have adapted and become invasive, so they will remove those and put back more native plantings that align with the ordinance and will exceed the percentage of required plantings. Mr. Sylvester asked if the ground covers will also be added and

removed and Mr. Woodle said yes and added that some of the shrubs have been damaged, but said the ground covers will be removed and replanted with new ground cover plants for all of the landscape beds, but the views on the presentation only shows one type of plant but there will be a variety.

Ms. van den Hombergh asked how many trees they would be removing and Mr. Woodle stated two shade trees that are in poor condition. Ms. van den Hombergh then asked how many deciduous hardwood trees will be there, and Mr. Woodle said they are proposing three shade trees, not including the one that they are keeping. Mr. Woodle added that the city is working with an artist, in a separate project, to paint the electric boxes and there will be a mural on the parking garage facade as well. Vice-Chair Wark asked what the mural would be and Mr. Woodle said that is to be determined and Ms. Kik is working out the details and funding, Vice-Chair Wark asked if the artist will be local and Mr. Woodle stated he believes so. Vice-Chair asked if the trees that will be removed and are damaged or diseased and would be removed anyway and Mr. Woodle stated there wasn't an evaluation done on the level of the health of the tree where he can say whether they are damaged or diseased but one of the trees is one they don't recommend because it has been known to break in heavy snowfall and ice storms, they also become invasive and spreads into natural areas so it is one they don't want to keep and the other isn't of the quality of the one they want to keep.

Vice-Chair Wark asked for staff comments, and they are as follows: Mr. Eldridge stated that Mr. Woodle covered most items but the special circumstances identified by staff were the uniqueness of this location, the area is boxed in on three sides by buildings, and part of the screening requirement for ground mounted mechanical equipment is to limit visibility from public view but this is only visible from Farmers Alley, which has limited traffic flow and can't be seen from Michigan Avenue or Portage Street. He stated the safety concerns was identified as far as other circumstances and looking at the diagrams in the packet, it's almost a peninsula of mechanical equipment that projects out from the corner of the parking ramp and to wrap that with a solid five-foot fence would create significant blind spots and wouldn't allow public safety to look through the site from Farmer's Alley when driving by, it's about trying to make this a more inviting and comfortable space. Mr. Eldridge stated the city works hard to make its public spaces as possible and also comply with the ordinances, but this is a circumstance where there's a conflict.

Vice-Chair Wark asked if there was anyone who wanted to speak in favor of the applicant and there was no one.

He asked if anyone wanted to speak against the applicant and there was no one.

He asked if there were any call-in comments and there were none.

Vice-Chair Wark closed the public hearing.

FINDING OF FACT

Ms. van den Hombergh moved the Finding of Fact as follows:

- 1) The Finding of Fact for 130 Portage Street shall include all information included in the notice of public hearing dated November 26, 2025, and the agenda packet provided by staff.

- 2) 73 notices of public hearing were sent and there were no responses.
- 3) A public hearing was held before the board and public comments were accepted.
- 4) The Finding of Fact shall include those documents just described and also all facts and comments made during the public hearing, which are summarized to include, without limitation, the following:

Mr. Brandon Woodle of Smith Group Landscape Architect Services spoke on behalf of the request noting this space is a triangular piece between the Exchange Place, Farmer's Alley, and Portage Street. His request for a 2 ½ foot picket fence around the mechanicals versus a tall fence covering the mechanicals, as required by the ordinance, is in alignment with the 2025 Master Plan, creating aesthetically pleasing public spaces and the concern with the solid fence is that it creates a blind spot so people could get hurt. The landscaping they're proposing will be removing two trees that are not recommended for a deciduous shade tree and will add three shade trees, they will wrap and paint the mechanicals and add a mural on the side of the parking garage. Staff stated that regarding the uniqueness of the location and that it is boxed in, the zoning ordinance is geared more toward spaces and mechanicals that are completely open and also made mention of blocking the line of vision. There were no call in comments.

Mr. McReynolds seconded the Finding of Fact.

Motion approved for the Finding of Fact by voice vote.

Ms. Haan made a motion to approve the application for a variance from Chapter 50-8.5 D 2(b)[2], to erect a 2.5-foot picket fence around the ground mounted mechanical units where a solid fence tall enough to screen the mechanical units is required, seconded by Mr. McReynolds.

Motion was approved unanimously by a roll call vote.

Mr. Sylvester read the application for 124 Martin Street into the record.

ZBA#25-12-23: 124 Martin Street: An application for a dimensional variance for the provisions of the Zoning Ordinance has been filed with the Zoning Board of Appeals by Valley Vision Construction & Development, LLC. The applicant is requesting a dimensional variance from Appendix A, Chapter 5, Section 5.1 of five feet from the required 25-foot front yard building setback from Martin Street to authorize the new single-family home to be set back 20 feet from the front property line.

Please note that this request will not change the zoning classification of the property. This is a request for a variance only regarding the items described above.

Mr. Darnell Clay, of Valley Vision Construction and Development, explained the Martin Street development has gone well and at the end of phase one, the completion of 113 and 116 Martin, those homes turned out beautifully from inception, the original vision of that cu-de-sac. Everything turned out well and now they are entering phase two which is 102 and 124, proposed, he added that after you build a couple of houses and you walk the property, you see the landscape, the flow, the layout, the aesthetics, there are some tweaks you would make if you could. He said in the midst of doing that, the original request expired and now they would like to get it reinstated as with the other variance, just shimmy the house over a little to be complimenting to the neighbors according to what they are trying to do there. Mr. Clay stated they noticed it was a little narrow so pushing it five feet will make a world of difference for lawn upkeep, hauling materials, getting in and out, and just for yard space and maintenance on that side of the home. He said it would be a disservice not to request this variance, and he feels the request is reasonable and they are making the best use of the space and they are in line with the 2025-2026 master plan of what they are trying to do with infill lots.

Vice-Chair Wark asked for staff comments and Mr. Eldridge replied this is an infill project that the city is happy to see and proud of and stated he went to look at the homes and they are very nice and fit in well with the neighborhood, and the site that is being discussed is at the end of the cul-de-sac between the end of it and Krom Avenue. He said this same request was before the board March 9, 2023, which the board granted unanimously but since then, waiting for utilities to be extended through the cul-de-sac and other items that took time, suddenly they were past the one-year expiration of the board variance, which is why this one is back. Mr. Eldridge said looking at the particulars related to this lot, which is a double frontage lot, the depth of the lot is only 66 feet which limits the positioning of the building envelope, and on top of that there is a 20-foot wide easement on the south side of the property so he can see why there was a challenge trying to figure out the location, in addition to looking at the frontage on Krom Avenue, which the average setback for homes on Krom Avenue is 10 feet, so this new build is allowed to sit 10 feet back from the property line on Krom. He stated it will meet that requirement, the five-foot side yard setbacks, but it won't meet the 25-foot setback from the property line on the cul-de-sac of Martin and that's where the variance is from. Mr. Eldridge wanted to mention that when this was before the board in 2023, questions were raised regarding what the back of the house would look like from Krom and included in the packet there are elevation views showing windows on the back side of the house, so it won't be a blank wall of siding facing Krom so it will not look out of character with the homes on Krom Street and he wanted to make reference to that. He added given the double frontage lot, the utility easement, and the shallow depth of the lot, those were the hardships noted.

Vice-Chair Wark asked if anyone wanted to speak in favor and there was no one.

Vice-Chair Wark asked if anyone wanted to speak against the variance and there was no one.

Vice-Chair Wark asked if there were any phone calls and there were none.

Vice-Chair Wark closed the public hearing.

Mr. Sylvester asked Mr. Eldridge if, outside of the windows added to the rear of the structure, this is the identical request that was previously submitted and approved and Mr. Eldridge said yes, but added the elevation view was submitted after the hearing because at the hearing questions had been raised about what the back of the structure would look like from Krom, so staff indicated they

would work with the developer to make sure that the appropriate number of windows on the back of the building would help it blend from the Krom Street frontage. Mr. Sylvester asked is the reason this is back before the board because the variance expired because of delays in utilities and Mr. Eldridge said when the variance was granted, he believes both water and sewer hadn't been run through the cul-de-sac yet and Mr. Clay stated between that and state stipulations on when you can and can't break ground and in regards to funding, zoning, and approvals caused it to come to a halt and revisited, he said it was a domino effect that caused delays.

FINDING OF FACT

Ms. Haan moved the Finding of Fact as follows:

- 1) The Finding of Fact for 124 Martin Street shall include all information included in the notice of public hearing dated November 26, 2025, and the agenda packet staff provided for this request.
- 2) 47 notices of public hearing were sent, and no responses were received.
- 3) A public hearing was held before the board and public comments were accepted, and there were none.
- 4) The Finding of Fact shall include all facts and comments made during the public hearing which are summarized to include, without limitation, the following:

Darnell Clay, of Valley Vision Construction and Development, is very proud of the project and it turned out to be great. He was before the board in 2023 with the same variance request and it was approved then but with the timing, many variables impacted the request, and it expired. It's an infill project with impressive homes and properties and it fits well within the neighborhood, and the additional five feet setback will make a world of difference for the residence to enjoy, care for, and live in the space. The depth of the lot is only 66 feet, which makes it challenging to meet the five feet setback, but they are in compliance with all other setback requirements.

Mr. McReynolds seconded the Finding of Fact.

Motion approved for the Finding of Fact by voice vote.

Ms. van den Hombergh moved to approve the application for a dimensional variance from Appendix A, Chapter 5, Section 5.1 of five feet from the required 25-foot front yard building setback from Martin Street to authorize the new single-family home to be setback 20 feet from the front property line, seconded by Mr. McReynolds.

Motion was approved unanimously by roll call vote.

ZBA#25-12-24: 102 Martin Street: An application for a variance for the provisions of the Zoning Ordinance has been filed with the Zoning Board of Appeals by Valley Vision

Construction & Development, LLC. The applicant is requesting a dimensional variance from Appendix A, Chapter 5, Section 5.1 of five feet from the required 25-foot front yard building setback from Martin Street to authorize the new single-family home to be set back 20 feet from the front property line.

Please note that this request will not change the zoning classification of the property. This is a request for a variance only regarding the items described above.

Mr. Darnell Clay, of Valley Vision Construction and Development, LLC, stated that Hurley Stewart came out and did a building marking and seeing it on paper was different than seeing it live in the field and when they were able to see the markers they noticed right away if they could do anything more to use more of that corner lot space, they would. After walking the property they notice it would make a world of difference if they had the ability to slide the home roughly five feet over into the corner lot because there is much more space and they wanted to avoid a large deciduous maple tree that is mostly on the neighbor's property, but this would enable them to have a car back there and avoid cutting the tree down. He said where the marker is on the tree there's no way to get the place the foundation successfully without doing that and they noticed that issue immediately. He added that theoretically if just dug it out and removed it no one would notice but to be by the book they decided that since they were going to the board and had paid for Hurley Stewart to come and mark the property, they would propose this one as well so they would feel good about the entire space, so between the tree and this being a corner lot, it just made sense.

Vice-Chair Wark asked for staff comments, and they are as follows: Mr. Eldridge stated that this site is uniquely different from the other site because it is a corner lot so there are two front setbacks, one from Burdick Street and one from Martin Street and the rear is to the east and south, where there is an adjacent home that is considered a side property line, this variance will allow the building to be shifted from the original positioning, which was closer to the side property line to the south, further to the north toward Martin Street. He added that as for the large deciduous tree, staff took additional pictures and those are in the staff report along with all of the staking that was done, identifying the footprint of where the proposed home will go and not only is the mature tree a special circumstance, but while looking the site layout it was noted that the adjacent house to the south is one to two feet off of the property line and moving this one five feet to the north will allow there to be six to seven feet between the structures which was a reason for staff to support this request. He said as far as character of the area, the opposite corner of Martin and North Burdick Street, on the north side, that home is roughly 10 to 12 feet off the Martin Street property line, so shifting this proposed home 20 feet from the property line on Martin will keep it in character with what's directly across the street on the opposite corner.

Vice-Chair Wark asked if there was anyone who wanted to speak in favor of the applicant and there was no one.

He asked if anyone wanted to speak against the applicant and there was no one.

He asked if there were any call-in comments and there were none.

Vice-Chair Wark closed the public hearing.

FINDING OF FACT

Mr. McReynolds moved the Finding of Fact as follows:

- 1) The Finding of Fact for 102 Martin Street shall include all information included in the notice of public hearing dated November 26, 2025, and the agenda packet staff provided for this request.
- 2) 59 notices of public hearing were sent, and no responses were received.
- 3) A public hearing was held before the board and public comments were accepted.
- 4) The Finding of Fact shall include all facts and comments made during the public hearing which are summarized to include, without limitation, the following:

Some of the facts are that the shallow depth 66 feet are related to the special circumstances with frontage on two public streets and 20feet utility easement for water and sewer across South Street of the site to extend onto Martin Street. The applicant did not cause special circumstance, utilities would have to cross the end of the cul-de-sac to get to the lines on Krom Street. The ordinance is going to reduce the shallow by the developer by an additional five feet, this is not normal to have double frontage lots within the shallow depth and the back of the house will align with other setbacks on the street and there are no adverse effects to any properties in the area, this variance will be consistent with other ordinances from the past.

Mr. Eldridge asked if he could add corrections. He explained that the 66-foot depth was for the first Martin Street property discussed tonight at 124 Martin Street and wanted to make note to strike the 66-foot depth, utility easement, and the double frontage lot that included Krom Street was for this first request. He said the other items as far as the set back and in character with the surrounding home were fine, he just wanted to make sure the correct facts were aligned since there were two properties on Martin Street.

Mr. Sylvester seconded the Finding of Fact.

Motion approved for the Finding of Fact by voice vote unanimously.

Ms. van den Hombergh moved to approve the application for a dimensional variance from Appendix A, Chapter 5, Section 5.1 of five feet from the required 25-foot front yard building setback from Martin Street to authorize the new single-family home to be setback 20 feet from the front property line, seconded by Ms. Haan.

Discussion:

Mr. Sylvester said the first one, but especially this one, reminds him of the challenges of developing in a mature city with mature locations like this, with a corner lot with mature

landscaping, and a non-conforming neighbor who's close to the lot, and that makes it challenging to do infill development, he said it is commendable work that Valley Vision is doing and for him to keep up the good work. Mr. Eldridge stated the surveying of 100 years ago was not what it is today and Mr. Sylvester stated that it can be quite challenging to make use of these sites and feels it's great that Valley Vision is figuring it out.

Motion was approved unanimously by roll call vote.

DISCUSSION/ACTION ITEMS:

Meeting schedule for 2026 is in the packet and if there are no questions he needs a voice vote. He said it will still be the second Thursday of each month and holidays were accounted for.

The schedule was approved by voice vote unanimously.

REPORTS:

ADJOURNMENT:

The meeting was adjourned at 7:56 p.m.

Submitted By _____ **Date** _____
Recording Secretary

Reviewed By _____ **Date** _____
City Staff

Approved By _____ **Date** _____
Chair



Zoning Board of Appeals Staff Report

City of Kalamazoo

Date: **1/8/2026**

Item: **D.1.**

TO: Zoning Board of Appeals

FROM: Reviewed by: Christina Anderson, AICP, City Planner / Deputy Director of CPED
Prepared by: Pete Eldridge, AICP, Zoning Administrator

DATE: January 8, 2026

SUBJECT: ZBA #26-01-01: 3810 E. Cork Street. QuikTrip Corporation is requesting a dimensional variance from Chapter 50 -7.2, to authorize 49 off-street parking spaces, where the maximum number of off-street parking spaces for the proposed fuel station / convenience store is 40 parking spaces.

BACKGROUND:

The property at 3810 E. Cork Street is in the CC District. The site is an irregularly shaped corner lot at the corner of Sprinkle Road and E. Cork Street. The driveways into the site are off a shared access road with other commercial properties on the west side of the site. The site is improved with an 8,000 square foot restaurant and nonconforming parking lot with 219 off-street parking spaces. The impervious coverage for the site is also nonconforming at approximately 95%.

The QuikTrip Corporation is looking to redevelop this site for a fuel /convenience store. QuikTrip has a similar store layout utilized throughout the midwest, southern, and southwestern United States. The model proposed for this site will have a 6,445 square foot store and 16 fuel pump stations under a fixed canopy. The store will have a full-service kitchen and an array of ready-to-serve items. There will be only outdoor table seating as most food items are designed for grab and go convenience. The redevelopment of the site will result in the impervious lot coverage being reduced to 80% with added green space and landscaping that exceeds the perimeter landscaping requirements of the Ordinance.

The applicant is requesting relief for an additional nine (9) off-street parking spaces. The applicant has indicated that this is necessary based on decades of experience developing this model layout for their stores. The added parking spaces reduce congestion on the site, especially during shift changes when there will be between 8 and 12 employees at one time, as the shifts do overlap. Staff noted the proximity to the I-94 Interchange would result in significant customer traffic from the highway as well as local customer traffic.

STRATEGIC VISION ALIGNMENT:

Economic Vitality - A supportive infrastructure for growing businesses and stabilizing the local economy for the benefit of all.

Strategic Goal and Master Plan 2025 Impact:

The project touches on the Strategic Goal of Economic Vitality. The project aligns with the Future Land Use Map, which identifies this property as Commercial.

COMMUNITY ENGAGEMENT:

Inform (one-way conversation) – the community will be made aware of the project.

Appropriate Depth of Engagement:

A notice was published in the Kalamazoo Gazette on December 23, 2025. Notice of the public hearing was mailed out to all property owners within 300 feet of the subject property.

Engagement/Communication Tools:

Newspaper, mailings to property owners, and outreach to the neighborhood association and neighbors.

FINDINGS:

Staff has made the following findings regarding this request:

1. That there are special circumstances or conditions (like exceptional topographic conditions, narrowness, shallowness, or the shape of property) that are peculiar to the land or structure for which the variance is sought, that is not applicable to other land or structures in the same zone district.

The special circumstances are focused on the layout and services of the store and the proximity to I-94. The store is 6,445 square feet, which is twice the size of most gas station convenience stores. This store will also feature a full-service kitchen, which sets it apart from most convenience stores. The close proximity to Interstate 94 also has a different impact on the customers than a typical gas station not near the Interstate.

2. That there are special circumstances which are not the result of the actions of the applicant or titleholder of the land.

The special circumstances are not the result of the applicant's actions but are based on the specific business model, which has been used at similar locations along

highways around the country. The QuikTrip store model is much larger and provides more customer amenities than a typical convenience store.

3. That the literal interpretation and enforcement of the terms and provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other land in the same zone district, and would cause practical difficulty.

The enforcement of the provisions of the Ordinance would limit the parking to 40 off-street parking spaces total, which may present traffic challenges on the site with the unusually large store and Interstate travelers. This site will be open 24 hours, and significant customer traffic from I-94 is anticipated.

4. That the granting of the variance is the minimum action that will make possible the use of the land or structure that is not contrary to the public interest, and that would carry out the spirit of this Ordinance.

The applicant has worked with staff to meet internal landscaping requirements and lower the site's impervious coverage. The applicant will reduce the off-street parking spaces from the existing capacity of 219 to 49 total spaces and increase green space on the site.

5. That the granting of the variance will not adversely affect adjacent land in a material way.

The granting of the variance will not adversely affect adjacent properties. The site is flanked by an Arby's Restaurant to the west and two hotels to the south.

6. That the granting of the variance will be generally consistent with the purposes and intent of this Ordinance.

The granting of the variance will be consistent with the Ordinance by reducing or eliminating many of the nonconforming site characteristics that currently exist.

7. Where the requested dimensional variance involves required landscaping, the Zoning Board of Appeals may grant a variance upon the following additional criteria: 1) existing landscaping, screening or wetlands intended to be preserved meets the intent of this section; 2) the landscape design proposed by the applicant meets the intent of this section; 3) there is a steep change in topography that would limit the benefits of required landscaping; 4) the proposed building and parking lot placement is setback well beyond the minimum required; 5) the abutting or adjacent land is developed or will be developed in the near future with a use other than residential; and 6) similar conditions to the above exist such that no good purpose would be served by providing the landscaping or screening required.

This criterion is not applicable to the requested variance.

RECOMMENDATION:

Staff recommends approval of the requested variance as it meets the above criteria.



Community Planning and Economic Development

245 N. Rose Street, Ste. 100

Kalamazoo, MI 49007

PH: (269) 337-8044

FAX (269) 337-8429

www.kalamazoocity.org

NOTICE OF PUBLIC HEARING

December 23, 2025

**RE: ZBA #26-01-01
3810 E. Cork Street
Parcel # 06-25-489-002**

Dear Property Owner:

An application for a variance for provisions of the Zoning Ordinance has been filed with the Zoning Board of Appeals by QuikTrip Corporation for the property at 3810 E. Cork Street in the Commercial – Community District (CC).

The applicant is requesting a dimensional variance from Chapter 50-7.2, to authorize an additional nine off-street parking spaces which will allow a total of 49 off-street parking spaces, where 40 is the maximum number of spaces permitted.

Please note that this request will not change the zoning classification of the property. This is a request for variance only regarding the item described above.

The meeting will be held on Thursday, January 8, 2026, at 7 p.m. in the City Commission Chambers at City Hall, 241 W. South Street. This meeting will also be streamed live on the [City's Facebook page](#) and [YouTube Channel](#).

To examine documents related to this request or provide written comments, please contact Pete Eldridge at eldridgep@kalamazoocity.org or call (269) 337-8806. The agenda will be posted at <https://www.kalamazoocity.org/boards>

Sincerely,

Peter C. Eldridge, AICP
Zoning Administrator

Zoning Board of Appeals Application



Submitted on	5 December 2025, 2:31PM
Receipt number	58
Related form version	14

Introduction

Have you scheduled a pre-application meeting?	Yes
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Applicant Information

Name	Gabriel Longoria
Organization (if applicable)	QuikTrip Corporation
Email Address	galongoria@quiktrip.com
Phone Number	2102944075
Address	50 S Main St Suit 200, Naperville, IL 60540, USA Map (41.7746357, -88.14930509999999)
Preferred Contact Method	Email
Are you the property owner?	No

Property Owner Information

Name	Shaohua & Meihan Shan
Mailing Address	5830 Stadium Dr, Kalamazoo, MI 49009, USA Map (42.2668184, -85.66329089999999)
Email Address	sam121121@yahoo.com
Preferred Contact Method	Email
Authorization from property owner:	Affidavit of Authorization 7424 - signed.pdf

Property and Application Details

Property Address	3810 East Cork Street, Kalamazoo, MI 49001, USA Map (42.2618923, -85.5316926)
Parcel Identification Number	06-25-489-002

Zone District	CC
Type of Request	Dimensional Variance
Application Fee	\$300.00
Project Description & Reason for Request	I represent QuikTrip Corporation and the application to construct a filling station with convenience store at this location. We are requesting to have 50 parking spaces, 10 more than the amount allowed to this site specifically, because it is a standard of safety that QuikTrip wishes to uphold. Additionally, our site has not met the specific requirement for interior landscaping, but we have exceeded the requirements on the exterior landscaping to maintain the spirit of the ordinance.

Dimensional Variance Review Criteria

Are there conditions, like unusual topography, the shape of the lot or structure that are not commonly found on other lots or structures in the same zone district that make this request unique?	No unusual conditions found.
Is there a hardship that is unique to the land or structure that is not applicable to other land or structures in the same zone district?	We wish to provide ample parking for all of our sites, which is around 50 parking spaces. The issue we find with less parking spaces than 50 is the customers/ employee's inability to find parking when they get on the site. This causes them to circle the lot aimlessly until they find a spot which produces hazardous conditions for pedestrians and cars attempting to exit the site safely.
Are the special circumstances created by actions of the applicant?	Due to the size of the lot, we are unable to meet the proper landscaping requirements with stand-alone landscaping islands. We would have to increase the size of the islands that are surrounding the store parking lot and reduce the number of parking spaces. The parking around the store is standard across the 1200 stores we have across the nation. By decreasing the amount of parking, potentially hazardous conditions are brought about in regard to safe ingress and egress onto the site.
Will the granting of the variance be the minimum action necessary for the use of the land or structure that will meet the spirit of this Ordinance?	Yes, I am confident that the variances requested allow for our site to run efficiently like the rest, while still maintaining the spirit of the Ordinance.
Will the granting of the variance negatively affect adjacent land?	The granting of these variances will not adversely affect any adjacent uses.
Will the granting of the variance be generally consistent with the purpose and intent of this Ordinance?	Yes, the proposed site will remain generally consistent with the purpose and intent of the Ordinances in which it conflicts.
Does existing landscaping, screening or wetlands planned to be preserved meet the intent of the Ordinance?	There was very minor landscaping on the proposed site. We are bringing in much more landscaping and a new building that brings a great improvement to the overall area.
Does the landscaping proposed by the applicant meet the intent of this section?	Though the interior landscaping requirement is not met, I am confident that our overall landscape meets the intent of the ordinance.
Are there steep changes in topography that would limit the benefits of landscaping?	No, there are not.
Are the proposed building and parking lot locations setback beyond the required setback?	Both the building and parking setbacks are compliant with the ordinances of the city.
Are there abutting lands developed or could be developed in the near future with a use other than residential?	The entire commercial area is already developed. This proposal would bring about the removal of an old, abandoned building, and bring about a

refreshing new use that completes the area as a whole.

Do similar landscaping conditions exist which would result in no added benefit if additional landscaping or screening was provided?

Though the area is already landscaped well, the proposed landscape plan for this site would bring about improvements to the area overall.

Supporting Documents

Supporting Documents

[7424 KALAMAZOO - CDP.pdf](#)

Submit

Your Signature

A handwritten signature in black ink, appearing to read "G. M. J.", is displayed on a light gray background.

[Uploaded signature image: Signature.jpg](#)

AFFIDAVIT OF AUTHORIZATION

I, Shaohua Shen Owner of the property described as
3810 E Cork Street, Kalamazoo, MI, 49001

Verify that QuikTrip Corporation

Is duly authorized to apply and represent my interests before Kalamazoo Planning Commission, Zoning Board of Appeals and/or City Council. Owner acknowledges that any notice given applicant is actual notice to owner.

Shao Hua Shen

Property Owner



QuikTrip Narrative
QuikTrip # 7424 Kalamazoo, MI

The proposed QuikTrip gas station seeks to transform an empty, old abandoned building, into a thriving community hub, offering a wide range of services to cater to the diverse needs of residents and travelers. With 16 fueling stations for passenger vehicles, a full-service kitchen, and an array of ready-to-serve items, the QuikTrip gas station is poised to become a model of convenience and modernity. This narrative presents an overview of the key features of the proposed gas station and highlights the numerous ways it will benefit the community and the surrounding area.

QuikTrip's commitment to convenience and service excellence is epitomized in the design and functionality of the proposed gas station. Sixteen fueling stations dedicated to passenger vehicles, will guarantee that residents and travelers can access fuel and other services promptly and efficiently. Along with the normal fueling positions we will also offer diesel for passenger vehicles that will also be able to service lawn care and small diesel vehicles.

At the proposed QuikTrip gas station, you can expect more than just fuel and convenience. It will be a place for food lovers, offering a full-service kitchen with a diverse menu of freshly prepared, high-quality meals that cater to different tastes and dietary preferences. Whether you're a traveler looking for a refreshing break or someone on the go, the gas station will also have a wide selection of ready-to-serve items, such as grab-and-go snacks, freshly brewed coffee, and beverages, providing quick and delicious options for your journey or daily routines. QuikTrip is the picture of innovation as we are introducing our Coffee Wow, fresh bean to cup, as well as the nitro-infused Y-bar with hot and cold lattes and coffee. Not only are we introducing new coffee, but we are also bringing more food such as chicken strips, French fries, and apple pies with the introduction of our new fryers.

The current location, once an abandoned prime corner lot, is poised for a transformation into a dynamic and impeccably maintained gas station and convenience store with QuikTrip's meticulous planning and design expertise. This revitalization effort not only promises to enhance the aesthetics of the area but also addresses under-utilized land, ultimately creating a more inviting environment for both residents and visitors.

The proposed QuikTrip gas station will deliver various benefits to the Gurnee community:

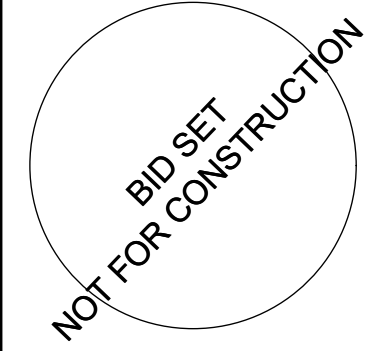
1. **Enhanced Safety:** The revitalization of land that has been unused for multiple years enhance the lighting and safety for pedestrians and drivers.
2. **Increased Employment Opportunities:** The construction and ongoing operations of the gas station will create job opportunities for residents, contributing to economic growth and stability, with between 20-25 positions available.
3. **Improved Infrastructure:** The gas station will be equipped with modern facilities and traffic management solutions, minimizing traffic congestion, and enhancing overall road safety.



QuikTrip Narrative
QuikTrip # 4455 Gurnee, IL

QuikTrip remains deeply committed to environmental stewardship. As part of the proposal, the gas station will adhere to all environmental regulations, implement best practices for waste management, and incorporate energy-efficient technologies. The proposed QuikTrip gas station represents a transformative endeavor that aims to revitalize underutilized land in Kalamazoo, Michigan. With its focus on convenience, service excellence, and community engagement, the station will elevate the overall quality of life for residents and travelers alike. We enthusiastically submit this narrative, confident that the QuikTrip gas station will be an invaluable addition to the City of Kalamazoo, aligning perfectly with its goals of growth, convenience, and environmental responsibility.

Gabriel Longoria
Real Estate Project Manager
QuikTrip Corporation



PROJECT NO.: WJXN3422

Jacobs

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PROTOTYPE: P-123 08/14/2025
DIVISION: TULSA
VERSION: 001
DESIGNED BY: M.A.R.
DRAWN BY: J.E.G.
REVIEWED BY: M.H.

REV	DATE	DESCRIPTION

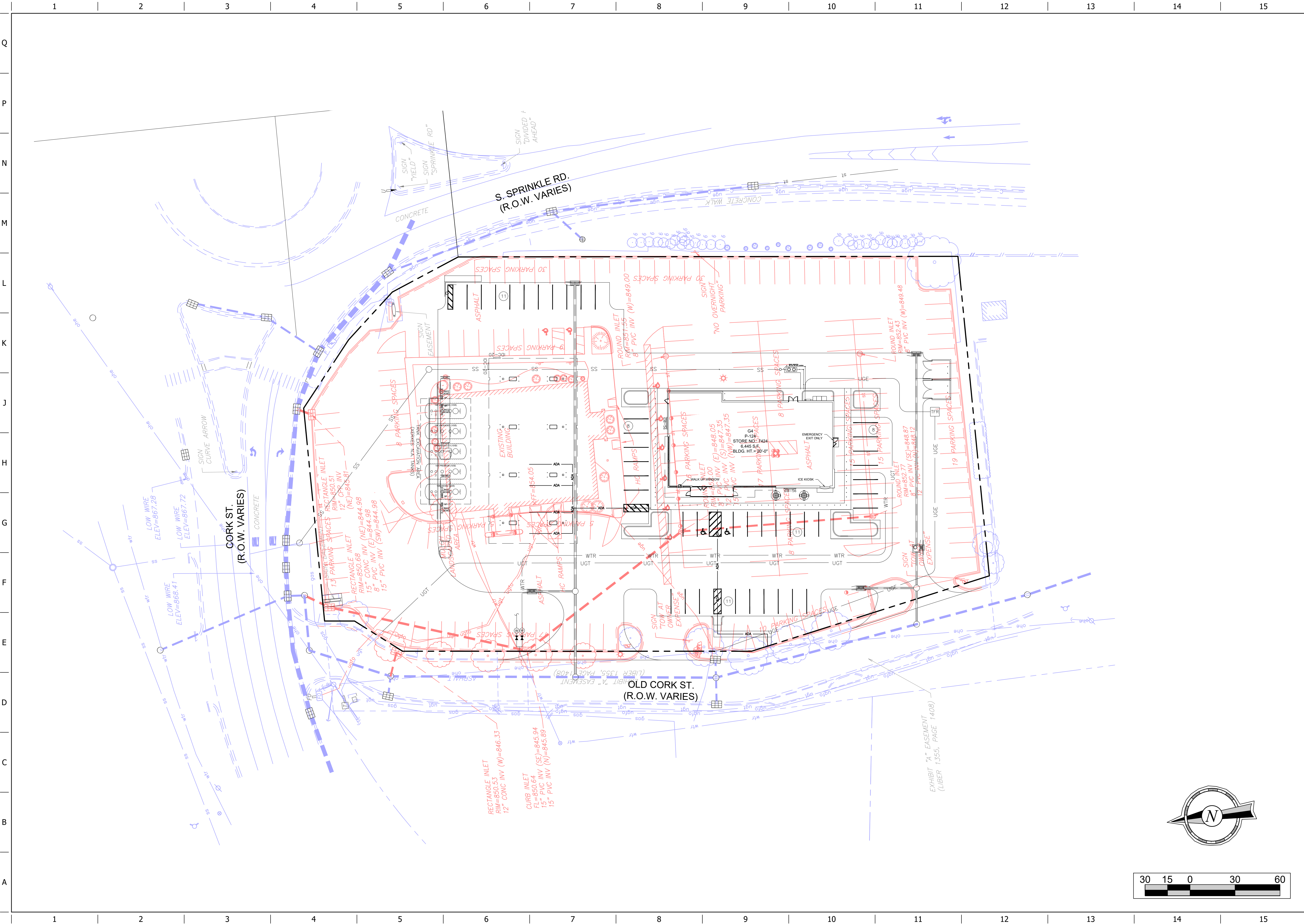
ORIGINAL ISSUE DATE: 11/17/2025

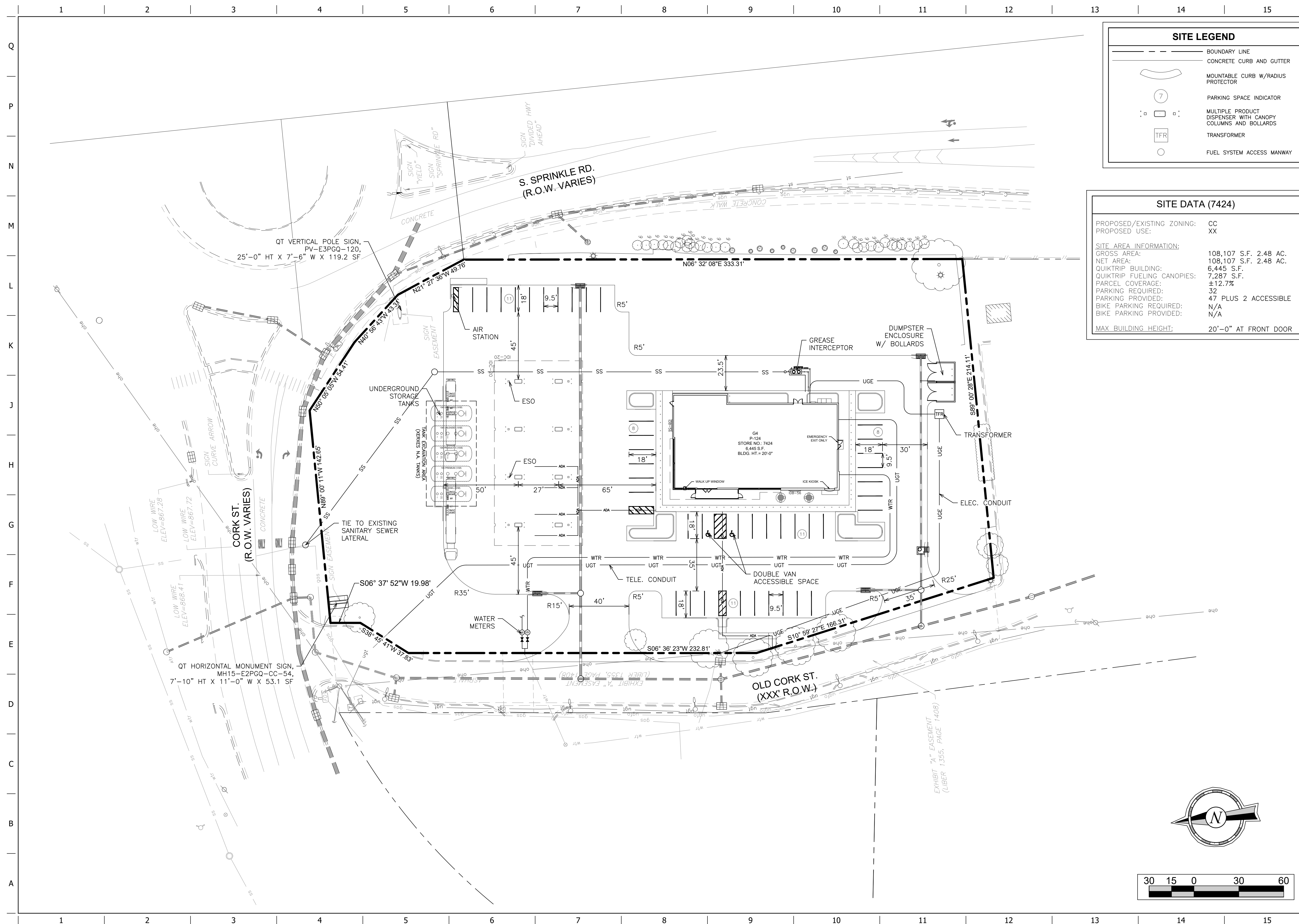
SHEET TITLE:

CDP-DEMOLITION
PLAN

SHEET NUMBER:

1





A circular stamp with the text "BID SET" on the top line and "NOT FOR CONSTRUCTION" on the bottom line, both in all caps. The text is arranged in a curve following the inner edge of the circle.

PROJECT NO.: WJXN3422

Jacobs.

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PROTOTYPE: P-123 08/14/2025

DIVISION: TULSA

VERSION: 001

DESIGNED BY: M.A.

DRAWN BY: J.E.C

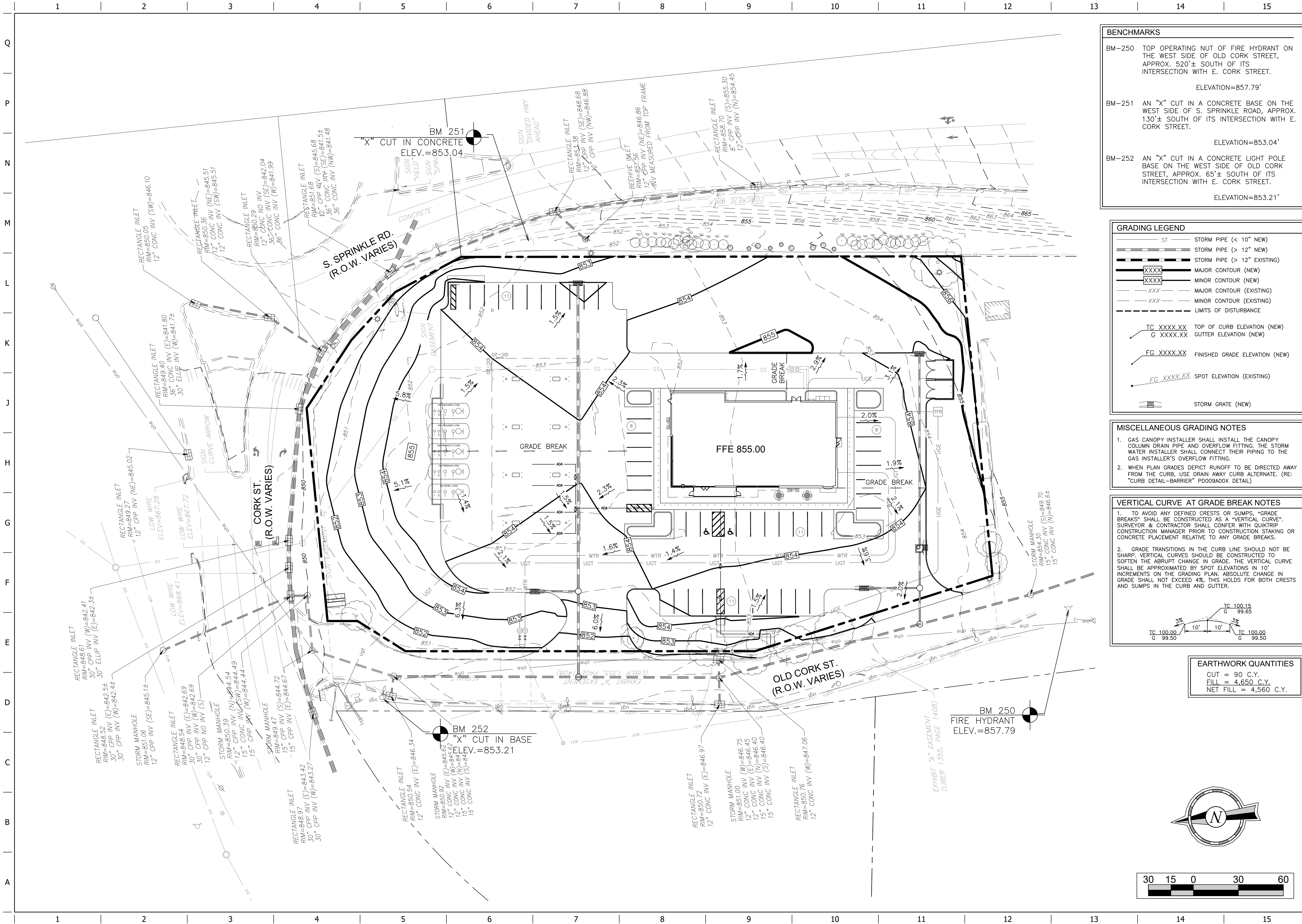
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SHEET TITLE:

CDP-SITE PLAN

SHEET NUMBER:

2



BENCHMARKS	
BM-250	TOP OPERATING NUT OF FIRE HYDRANT ON THE WEST SIDE OF OLD CORK STREET, APPROX. 520'± SOUTH OF ITS INTERSECTION WITH E. CORK STREET. ELEVATION=857.79'
BM-251	AN "X" CUT IN A CONCRETE BASE ON THE WEST SIDE OF S. SPRINKLE ROAD, APPROX. 130'± SOUTH OF ITS INTERSECTION WITH E. CORK STREET. ELEVATION=853.04'
BM-252	AN "X" CUT IN A CONCRETE LIGHT POLE BASE ON THE WEST SIDE OF OLD CORK STREET, APPROX. 65'± SOUTH OF ITS INTERSECTION WITH E. CORK STREET. ELEVATION=853.21'

GRADING LEGEND	
	ST STORM PIPE (< 10" NEW)
	ST STORM PIPE (> 12" NEW)
	ST STORM PIPE (> 12" EXISTING)
	XXXX MAJOR CONTOUR (NEW)
	XXXX MINOR CONTOUR (NEW)
	XXX MAJOR CONTOUR (EXISTING)
	XXX MINOR CONTOUR (EXISTING)
	--- LIMITS OF DISTURBANCE
	TC XXXX.XX TOP OF CURB ELEVATION (NEW)
	G XXXX.XX GUTTER ELEVATION (NEW)
	FG XXXX.XX FINISHED GRADE ELEVATION (NEW)
	FG XXXX.XX SPOT ELEVATION (EXISTING)
	STORM GRATE (NEW)

- MISCELLANEOUS GRADING NOTES
1. GAS CANOPY INSTALLER SHALL INSTALL THE CANOPY COLUMN DRAIN PIPE AND OVERFLOW FITTING. THE STORM WATER INSTALLER SHALL CONNECT THEIR PIPING TO THE GAS INSTALLER'S OVERFLOW FITTING.
 2. WHEN PLAN GRADES DEPICT RUNOFF TO BE DIRECTED AWAY FROM THE CURB, USE DRAIN AWAY CURB ALTERNATE. (RE: "CURB DETAIL-BARRIER" PD009A00X DETAIL)

VERTICAL CURVE AT GRADE BREAK NOTES

1. TO AVOID ANY DEFINED CRESTS OR SUMPS, "GRADE BREAKS" SHALL BE CONSTRUCTED AS A "VERTICAL CURVE". SURVEYOR & CONTRACTOR SHALL CONFER WITH QUIKTRIP CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION STAKING OR CONCRETE PLACEMENT RELATIVE TO ANY GRADE BREAKS.
2. GRADE TRANSITIONS IN THE CURB LINE SHOULD NOT BE SHARP. VERTICAL CURVES SHOULD BE CONSTRUCTED TO SOFTEN THE ABRUPT CHANGE IN GRADE. THE VERTICAL CURVE SHALL BE APPROXIMATED BY SPOT ELEVATIONS IN 10' INCREMENTS ON THE GRADING PLAN. ABSOLUTE CHANGE IN GRADE SHALL NOT EXCEED 4%. THIS HOLDS FOR BOTH CRESTS AND SUMPS IN THE CURB AND GUTTER.

EARTHWORK QUANTITIES	
CUT	= 90 C.Y.
FILL	= 4,650 C.Y.
NET FILL	= 4,560 C.Y.

PROJECT NO.: WJXN3422

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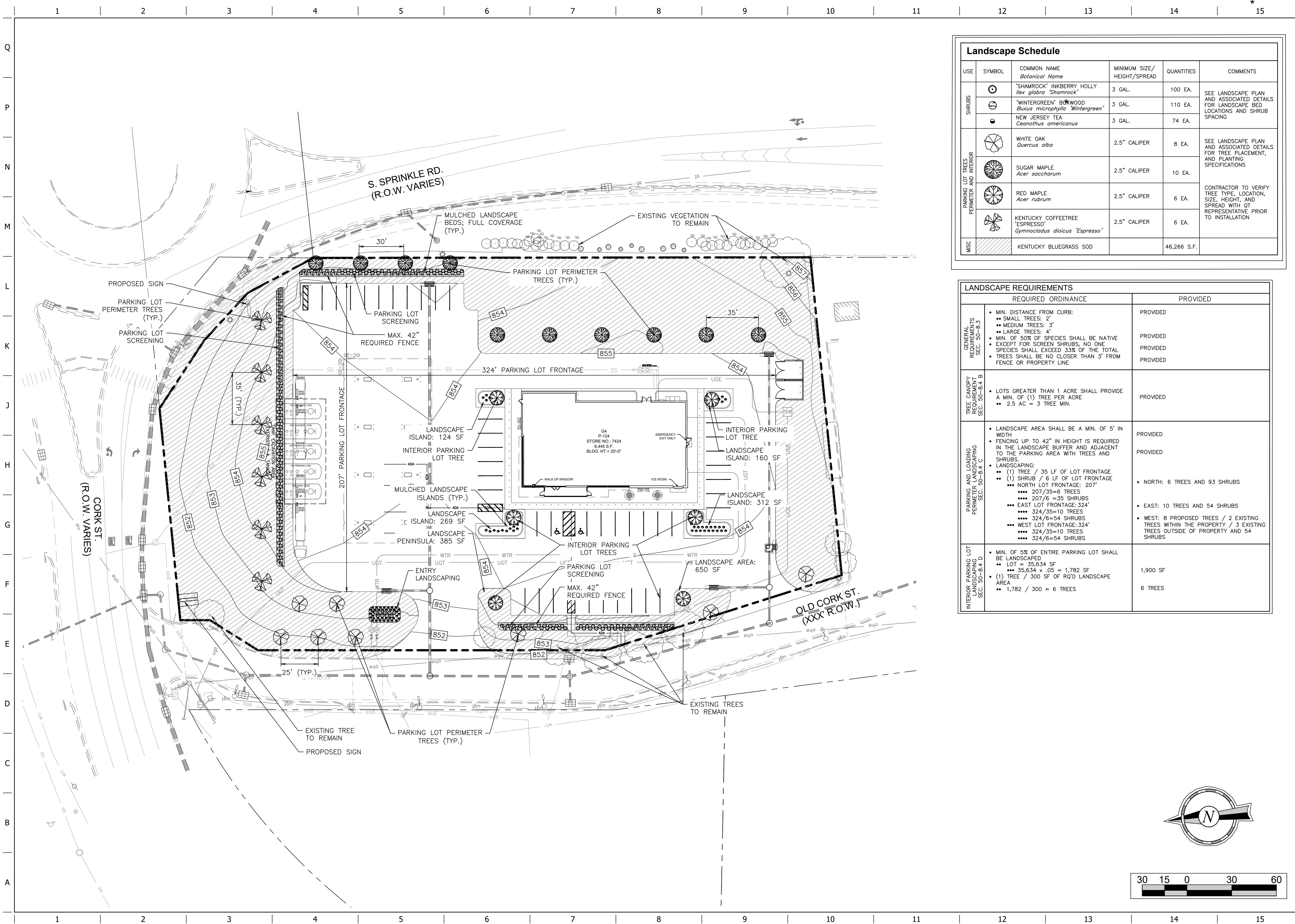
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DRAWN BY: J.E.G.
REVIEWED BY: M.H.

REV	DATE	DESCRIPTION

SHEET TITLE:
CDP-GRADING
PLAN

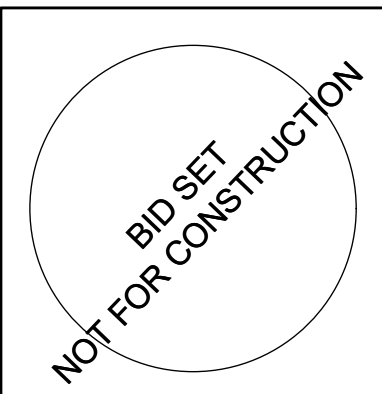
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3

ORIGINAL ISSUE DATE: 11/17/2025



Landscape Schedule					
USE	SYMBOL	COMMON NAME <i>Botanical Name</i>	MINIMUM SIZE/ HEIGHT/SPREAD	QUANTITIES	COMMENTS
SHRUBS		'SHAMROCK' INKBERRY HOLLY <i>Ilex glabra 'Shamrock'</i>	3 GAL.	100 EA.	SEE LANDSCAPE PLAN AND ASSOCIATED DETAILS FOR LANDSCAPE BED LOCATIONS AND SHRUB SPACING
		'WINTERGREEN' BOXWOOD <i>Buxus microphylla 'Wintergreen'</i>	3 GAL.	110 EA.	
		NEW JERSEY TEA <i>Ceanothus americanus</i>	3 GAL.	74 EA.	
PARKING LOT TREES PERIMETER AND INTERIOR		WHITE OAK <i>Quercus alba</i>	2.5" CALIPER	8 EA.	SEE LANDSCAPE PLAN AND ASSOCIATED DETAILS FOR TREE PLACEMENT, AND PLANTING SPECIFICATIONS
		SUGAR MAPLE <i>Acer saccharum</i>	2.5" CALIPER	10 EA.	
		RED MAPLE <i>Acer rubrum</i>	2.5" CALIPER	6 EA.	CONTRACTOR TO VERIFY TREE TYPE, LOCATION, SIZE, HEIGHT, AND SPREAD WITH QT REPRESENTATIVE PRIOR TO INSTALLATION
		KENTUCKY COFFEETREE 'ESPRESSO' <i>Gymnocladus dioica 'Espresso'</i>	2.5" CALIPER	6 EA.	
MISC		KENTUCKY BLUEGRASS SOD		46,266 S.F.	

LANDSCAPE REQUIREMENTS	
GENERAL REQUIREMENTS SEC. 50-8.3	REQUIRED ORDINANCE • MIN. DISTANCE FROM CURB: •• SMALL TREES: 2' •• MEDIUM TREES: 3' •• LARGE TREES: 4' • MIN. OF 50% OF SPECIES SHALL BE NATIVE • EXCEPT FOR SCREEN SHRUBS, NO ONE SPECIES SHALL EXCEED 33% OF THE TOTAL • TREES SHALL BE NO CLOSER THAN 3' FROM FENCE OR PROPERTY LINE PROVIDED
TREE CANOPY REQUIREMENT SEC. 50-8.4 B	• LOTS GREATER THAN 1 ACRE SHALL PROVIDE A MIN. OF (1) TREE PER ACRE •• 2.5 AC = 3 TREE MIN. PROVIDED
PARKING AND LOADING PERIMETER LANDSCAPING SEC. 50-8.4 C	• LANDSCAPE AREA SHALL BE A MIN. OF 5' IN WIDTH • FENCING UP TO 42" IN HEIGHT IS REQUIRED IN THE LANDSCAPE BUFFER AND ADJACENT TO THE PARKING AREA WITH TREES AND SHRUBS. • LANDSCAPING: •• (1) TREE / 35 LF OF LOT FRONTAGE •• (1) SHRUB / 6 LF OF LOT FRONTAGE •• NORTH LOT FRONTAGE: 207' ••• 207/35=6 TREES ••• 207/6 =35 SHRUBS •• EAST LOT FRONTAGE:324' ••• 324/35=10 TREES ••• 324/6=54 SHRUBS •• WEST LOT FRONTAGE:324' ••• 324/35=10 TREES ••• 324/6=54 SHRUBS PROVIDED • NORTH: 6 TREES AND 93 SHRUBS • EAST: 10 TREES AND 54 SHRUBS • WEST: 8 PROPOSED TREES / 2 EXISTING TREES WITHIN THE PROPERTY / 3 EXISTING TREES OUTSIDE OF PROPERTY AND 54 SHRUBS
INTERIOR PARKING LOT LANDSCAPING SEC. 50-8.4 D	• MIN. OF 5% OF ENTIRE PARKING LOT SHALL BE LANDSCAPED •• LOT = 35,634 SF ••• 35,634 x .05 = 1,782 SF • (1) TREE / 300 SF OF RQ'D LANDSCAPE AREA •• 1,782 / 300 = 6 TREES 1,900 SF 6 TREES



PROJECT NO.: WJXN3422

Jacobs

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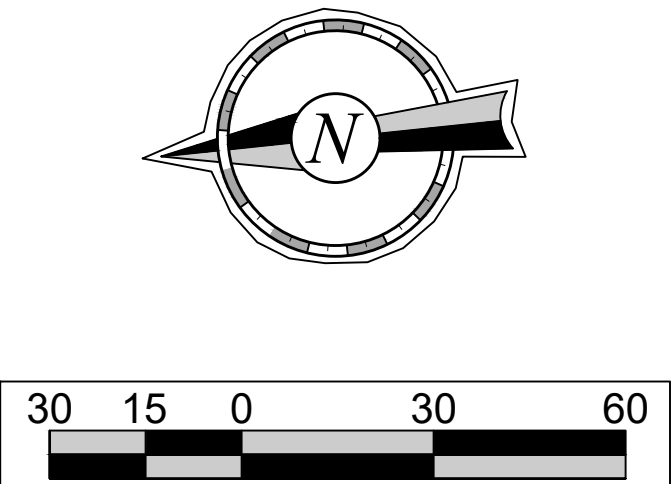
PROTOTYPE: P-123 08/14/2025
DIVISION: TULSA
VERSION: 001
DESIGNED BY: C.M.
DRAWN BY: J.E.G.
REVIEWED BY: M.H.

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 11/17/2025

SHEET TITLE:
CDP LANDSCAPE PLAN

SHEET NUMBER:
4





ZONING BOARD OF APPEALS

DIMENSIONAL VARIANCE REVIEW SHEET

General Information

Specific Project Details (may also provide on a separate sheet):

Review Criteria for Dimensional Variances

ZBA will review all Dimensional Variance requests using the following criteria. Please reach out to staff if you have questions.

Are there conditions, like unusual topography, the shape of the lot or structure that are not commonly found on other lots or structures in the same zone district that make this request unique?

Are there special circumstances which are not the result of the actions of the applicant or property owner of the land that impact the project?

Does the Ordinance deprive the applicant of rights enjoyed by other property owners in the same zone district?



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Is this the minimum action which will make it possible to use the lot or structure in a manner that does not negatively impact the public and meets the spirit of this Ordinance?

Will the granting of the variance negatively affect adjacent land?

Will the granting of the variance be generally consistent with the purpose and intent of this Ordinance?

Additional Criteria for Variance Requests for Required Landscaping

Does existing landscaping, screening or wetlands planned to be preserved meet the intent of the Ordinance?

Does the landscaping proposed by the applicant meet the intent of this section?



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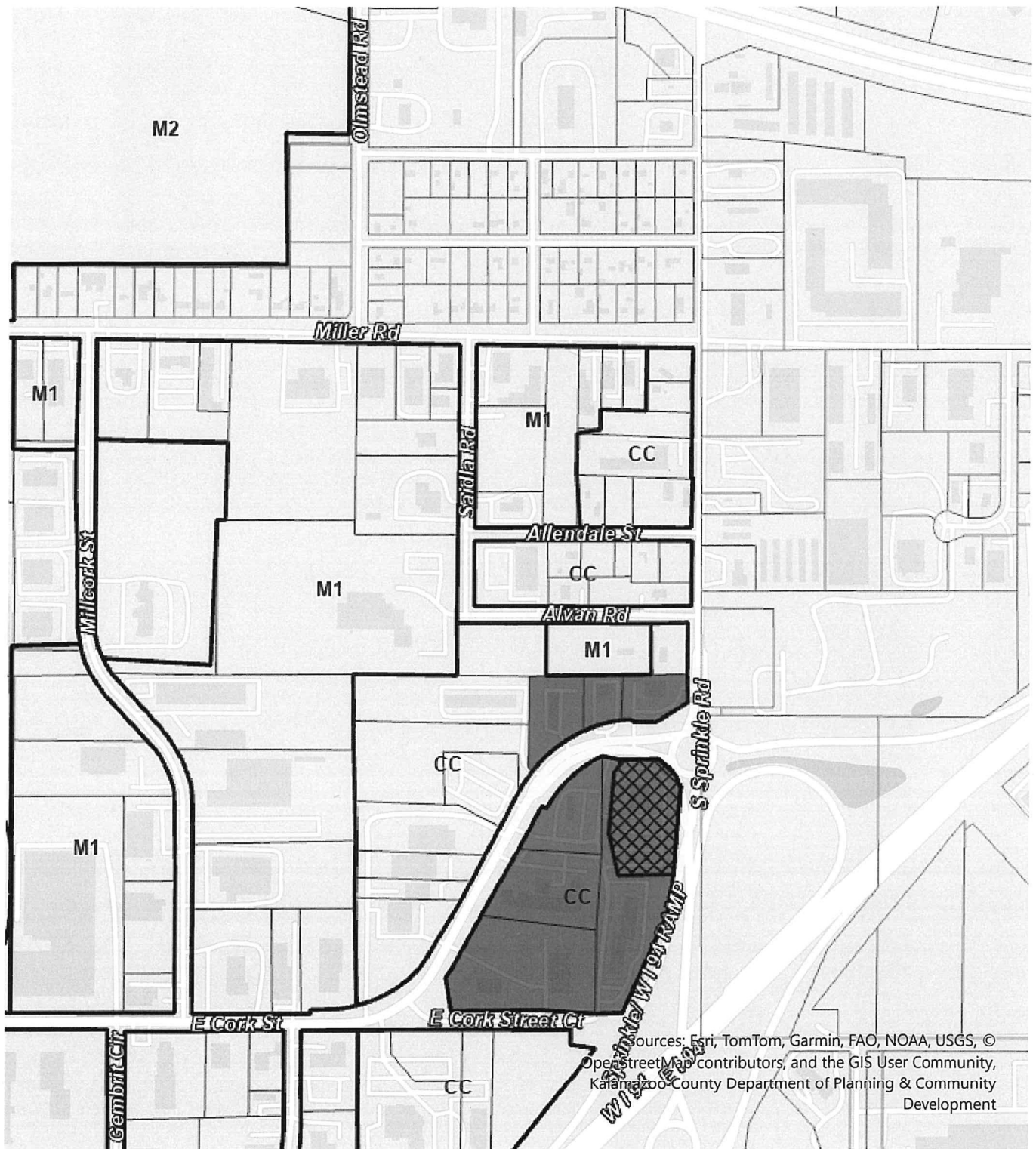
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Are there steep changes in topography that would limit the benefits of landscaping?

Are the proposed building and parking lot locations setback beyond the required setback?

Are there abutting lands developed or could be developed in the near future with a use other than residential?

Do similar landscaping conditions exist which would result in no added benefit if additional landscaping or screening was provided?



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, ©
OpenStreetMap contributors, and the GIS User Community,
Kalamazoo County Department of Planning & Community
Development

Parcels within 300' Mailing Radius 3810 E CORK ST

-  Subject Property
-  Property within 300'
Mailing Radius
-  Other Property
-  Zoning District Boundary



0 220 440 880 ft



Zoning Board of Appeals Staff Report

Date: **1/8/2026**

Item: **D.2.**

City of Kalamazoo

TO: Zoning Board of Appeals

FROM: Reviewed by: Christina Anderson, AICP, City Planner / Deputy Director of CPED
Prepared by: Pete Eldridge, AICP, Zoning Administrator

DATE: January 8, 2026

SUBJECT: ZBA #26-01-02: 1617 N. Drake Rd. Discover Kalamazoo is requesting the following variances for the Kalamazoo County Youth Sports Facility:

1. A variance from the Natural Features Protection Ordinance, Chapter 50, Section 50-6.2 H, to authorize the proposed development to encroach into protected slopes (which have a grade greater than 20%) and protected slope setbacks on the site.
2. A variance from the Natural Features Protection Ordinance, Chapter 50, Section 50-6.2 G, to authorize an 11.5% reduction of the 25% woodland preservation requirement which will result in preservation of 13.5% of the existing woodland.
3. A dimensional variance from Appendix A, Chapter 5.1, to authorize a height of 56 feet for the new facility, where the maximum height for structures in the RS-5 District is 35 feet.
4. A dimensional variance from Appendix A, Chapter 5.1, to authorize a maximum impervious coverage of 56% for the site, where 45% is the maximum impervious coverage allowed in the RS-5 District.
5. A dimensional variance from Chapter 50-7.3, to authorize 20 bike parking spaces for the facility, where 170 bike parking spaces are required based on the maximum occupancy of the sports complex.

BACKGROUND:

The property at 1617 N. Drake Road is located in the RS-5 District and the Natural Features Protection Overlay. The parcel is currently 62 acres and stretches from N. Drake Road to the MDOT right of way of US-131. The proposed project will be located on the west 20 acres directly adjacent to US-131. The 20-acre site will be accessed by an extension of Maple Hill Drive, which is located south of the site with a connection to West Main Street/M-43. Discover Kalamazoo, in partnership with multiple agencies and governmental jurisdictions, is leading this project to develop a youth sports facility to serve the Kalamazoo region. This is a result of analysis and research that show a clear need for indoor sports programming specifically focused on basketball, volleyball, and indoor turf sports. The facility will be approximately 145,000 square feet with approximately 656 off-street parking spaces. The building will be located on

the west side of the site, close to US-13,1, with a parking lot on the east side, which will link to Maple Hill Drive.

Oshtemo Township borders this property on three of four sides. Maple Hill Drive, the connection between West Main Street/M-43 and the site, is in the Township and would be under the jurisdiction of the Kalamazoo County Road Commission (KCRC), which manages Township streets. Oshtemo Township is in the final stages of updating its Master Plan, with the Plan out for final review. The draft Oshtemo Township Master Plan, specifically the Land Use Plan, shows a grid of streets across the Township properties to the north as future developable sites and a street network in this part of the Township. This Plan envisions a connection to Maple Hill Drive and West Main Street/M-43, which would run through or adjacent to this 20-acre site in order to make the connections to West Main Street /M-43.

The RS-5 District allows for recreational uses and parks, and a handful of other non-residential uses. However, the RS-5 dimensional standards are set only for the predominant use in the district, single-family residential. Sports facilities, containing gymnasiums, require a height above that permitted for single-family residential structures. The proposed facility is similar in size to the Kalamazoo Country Club redevelopment, which is also in the RS-5 District. The applicant is requesting five variances in total. Two of these variances relate to the Natural Features Protection (NFP) standards on the site. These were received at the NFP Review Board meeting on December 16, 2025, which can be reviewed on the City's YouTube site [here](#). The NFP Review Board discussed the request at length and has provided a positive recommendation to the Zoning Board of Appeals (ZBA). The other three variance requests are related to RS-5 standards, specifically height, impervious coverage, and bicycle parking spaces.

1. NFP: Protected Slopes and Slope Setbacks: Protected slopes are located throughout the site and are difficult to avoid with any site development. The highest concentration of protected slopes is in the southeast corner, where Maple Hill Drive is proposed to connect to the site from West Main Street/M-43 and the Township properties to the south. The proposed parking lot for the complex is also proposed to be in this same area. There are protected slopes near the northeast corner of the site, which will not be impacted. The third concentration of slopes is in the northwest corner of the site where the building is proposed to be located. This is a smaller area of protected slopes and is close to US-131. It is not clear if past plans to develop part of this site as a cemetery or prior excavation work may have led to the steep sloped terrain. The NFP Review Board looked closely at this but understood that, given the spread of the protected slopes across the site that a variance would be necessary to develop the site.

2. NFP: Woodland Preservation: The site is 100% woodland and is part of a larger woodland complex extending out north and south into Oshtemo Township and the east into the approximately 40-acre area that would remain in the City of Kalamazoo after the land split for this complex. The Ordinance requires 25% woodland preservation on the site. The applicant does not believe they can meet this requirement with the proposed complex and has requested relief of 11.5%. This would allow the removal of 86.5% of the woodland, preserving 13.5%. If Maple Hill Drive is extended in the future as envisioned in the draft Oshtemo Township Master Plan, and the extension is on this property, the preserved woodland percentage could be reduced

further. The NFP Board was supportive of the variance request, but only with the condition that as much of the remaining green space or undeveloped area as possible be replanted using native species, with a preference for dense replanting of native tree species.

3. Height: The proposed youth sports facility will be designed to accommodate indoor sports such as basketball and volleyball. These indoor sports have a minimum height requirement for clearance above the courts. RS-5 standards allow for a height of up to 35 feet, which is common for single-family residential buildings, but not for the non-residential uses permitted in RS-5. Examples of the height of nearby buildings have been provided to show that the proposed height is similar to other buildings in the area.

4. Impervious Coverage: The impervious coverage proposed for the youth sports complex is 56%. The RS-5 district requires 45% maximum impervious coverage of a site, which is appropriate for single-family development.

5. Bike Parking: The table in the Ordinance for bike parking for Entertainment Sports — Participant states that bike parking shall be calculated at: 1 per 5 persons at maximum occupancy; 1 per 2 employees on the largest shift. This would put the required bicycle parking at approximately 170 bike parking spaces. The applicant is proposing 20 bike parking spaces.

STRATEGIC VISION ALIGNMENT:

Complete Neighborhoods - residential areas that support the full range of people's daily needs

Youth Development - A place with supports where young people thrive

Strategic Goal and Master Plan 2025 Impact:

The project touches on the Strategic Goals of Complete Neighborhoods and Youth Development as it will provide opportunities for indoor recreation for area youth as well as young people from around Kalamazoo County and beyond. The property is identified as Open Space/Park on the Future Land Use Map. The project is focused on providing recreational opportunities, but this will be an indoor facility.

COMMUNITY ENGAGEMENT:

Inform (one-way conversation) – the community will be made aware of the project.

Appropriate Depth of Engagement

A notice was published in the Kalamazoo Gazette on December 23, 2025. Notice of the public hearing was mailed out to all property owners within 300 feet of the subject property and the Westwood Neighborhood Association. The applicant has also conducted outreach and surrounding residents were recently contacted about the public hearing for the Natural Features Protection Review Board meeting.

Engagement/Communication Tools

Newspaper, mailings to property owners, and outreach to the neighborhood association and neighbors.

FINDINGS:

Staff has made the following findings regarding this request:

Relief from the NFP Overlay District Standards in § 50-6.2 may be granted when all the following conditions are met (Variance for Protected Slopes and Slope Setbacks).

[1] The parcel cannot be reasonably utilized for its zoned use without the requested relief.

The existing parcel has multiple areas where protected slopes are present across the site, which limits the development possibilities. Particularly challenging is the southeast portion of the site where the Maple Hill Drive connection is proposed. There are limited locations where this street connection can enter this site, and there are protected slopes in these areas.

[2] The extent of relief requested is the minimum needed to permit reasonable utilization of the site.

This is the minimum action that will allow for the development of the youth sports complex and keep all the courts at the same ground level, and provide the needed parking for this type of facility, which will attract players and families from across Michigan and the Midwest.

[3] It is demonstrated that the relief can be granted without substantial detriment to the public good and will not substantially impair the intent and the purpose of the NFP Overlay District.

There will not be substantial detriment to the public good. The proposed project is currently surrounded by mostly undeveloped land, with a hotel complex to the south, closer to West Main Street/M-43. The Oshtemo Township Master Plan envisions development and street connections in adjacent properties. The proposed building and stormwater detention pond will be located near the existing grades to reduce the amount of earth moving needed to build these improvements.

[4] The requested relief is balanced by the use of conservation and/or green development tools and actions, such as utilizing stormwater BMPs from the Michigan Low Impact Development Manual that promote infiltration, restoration or expansion of a natural feature on the site, or use of wild-type native plants or desired trees as detailed in Table 6.2-5, Replacement Tree List.

The project will incorporate landscaped spaces into the parking lot design, install a water retention pond that will meet the stormwater performance standards for the City, and incorporate new planting where possible with native species, which was a condition of the NFP Review Board's support.

Relief from the NFP Overlay District Standards in § 50-6.2 may be granted when all the following conditions are met (Variance for Woodland Preservation).

[1] The parcel cannot be reasonably utilized for its zoned use without the requested relief.

The entire site is considered a woodland by definition. The applicant is requesting relief beyond the 75% clearing allowed by the Ordinance due to the size of these types of sports complexes and the need to provide parking as users will be traveling from around the state and Midwest.

[2] The extent of relief requested is the minimum needed to permit reasonable utilization of the site.

The extent of relief is the minimum action needed to permit the reasonable use of the property. The applicants have done several design iterations, testing the size and location of the facilities to arrive at this proposed design.

[3] It is demonstrated that the relief can be granted without substantial detriment to the public good and will not substantially impair the intent and the purpose of the NFP Overlay District.

The proposed design will preserve a woodland area in the northeast corner of the site, and a total of 13.5% of the site's woodland will be preserved with this development. There is potential for a reduction in this total if the proposed Maple Hill Drive extension occurs in the future. The NFP review board included a condition that the native plants be used in the landscaping and in the planting of additional trees on the site to offset the impacts of the woodland removal.

[4] The requested relief is balanced by the use of conservation and/or green development tools and actions, such as utilizing stormwater BMPs from the Michigan Low Impact Development Manual that promote infiltration, restoration or expansion of a natural feature on the site, or use of wild-type native plants or desired trees as detailed in Table 6.2-5, Replacement Tree List.

The project will incorporate substantial green spaces into the parking lot design, install a water retention pond that will meet the stormwater performance standards for the city, and incorporate new planting where possible with native species.

RS-5 Dimensional Variance for Height:

1. That there are special circumstances or conditions (like exceptional topographic conditions, narrowness, shallowness, or the shape of property) that are peculiar to the land or structure for which the variance is sought, that is not applicable to other land or structures in the same zone district.

The special circumstances are that RS-5 allows several uses other than single-family residential, but the RS-5 dimensional standards are designed to support only single-family residential development. The height variance is needed to develop this use and would likely be required for other permitted non-residential uses in RS-5, such as religious institutions.

2. That there are special circumstances which are not the result of the actions of the applicant or titleholder of the land.

The special circumstances are not the result of the actions of the applicant. RS-5 permits uses other than residential, but has minimum standards that only account for single-family residential. The required ceiling height for indoor sports such as volleyball and turf sports have industry standards which must be met, or the venue will not be able to be utilized as a regional tournament venue.

3. That the literal interpretation and enforcement of the terms and provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other land in the same zone district, and would cause practical difficulty.

The enforcement of the provisions of the Ordinance would limit the overall height of the building to 35 feet. Without this variance, the applicant would be unable to develop an indoor sports complex on this site.

4. That the granting of the variance is the minimum action that will make possible the use of the land or structure that is not contrary to the public interest, and that would carry out the spirit of this Ordinance.

The requested variance is the minimum action that would allow for the use of the land for the sports complex.

5. That the granting of the variance will not adversely affect adjacent land in a material way.

The granting of the variance will not adversely affect adjacent land. There are buildings of a similar height to the south along Maple Hill Drive. This building is also directly adjacent to US 131.

6. That the granting of the variance will be generally consistent with the purposes and intent of this Ordinance.

The granting of the variance will be generally consistent with the Ordinance, which allows this use by right in the RS-5 district.

RS-5 Dimensional Variance for Impervious Coverage:

1. That there are special circumstances or conditions (like exceptional topographic conditions, narrowness, shallowness, or the shape of property) that are peculiar to the land or structure for which the variance is sought, that is not applicable to other land or structures in the same zone district.

The special circumstances are that RS-5 allows several uses other than single-family residential, but the RS-5 dimensional standards are designed to support only single-family residential development. The impervious coverage requirements are set for the development of single-family homes and not for a non-residential structure with parking, such as a sports facility or religious institution. Given the location of the property and that the user of the facility will be coming from around the state and the Midwest, shared and on-street parking opportunities will be limited; parking will occur in the facility's lot.

2. That there are special circumstances which are not the result of the actions of the applicant or titleholder of the land.

The special circumstances are not the result of the actions of the applicant. RS-5 district allows such uses, but has limited their development with dimensional standards that primarily support residential development. The applicant has done several design iterations to reduce the impervious coverage to the minimum required to make the project work.

3. That the literal interpretation and enforcement of the terms and provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other land in the same zone district, and would cause practical difficulty.

The enforcement of the provisions of the Ordinance would limit the scope of development of the property to 45% maximum impervious coverage. 45% works for single-family residential development, but not for the other uses permitted by right in the RS-5 district, such as those with a large structure and parking area. The additional coverage aligns with the size of the proposed facility and is backed by market studies that indicate the size and scale to support a successful sports complex facility.

4. That the granting of the variance is the minimum action that will make possible the use of the land or structure that is not contrary to the public interest, and that would carry out the spirit of this Ordinance.

The granting of the variance is the minimum action that will allow for this permitted by right, non-residential use in RS-5. The applicant has completed a number of

design alternatives in order to reduce this request to 11%, the minimum needed to make the facility work on this site.

5. That the granting of the variance will not adversely affect adjacent land in a material way.

The granting of the variance will not adversely affect adjacent land. US 131 exists directly to the west of the proposed complex. The stormwater requirements will ensure that there is no unintended runoff on adjacent properties, even with the increase in impervious surface on the site.

6. That the granting of the variance will be generally consistent with the purposes and intent of this Ordinance.

The granting of variance will be consistent with the Ordinance, which allows for non-residential uses in the RS-5 district without accounting for them in the dimensional standards.

Parking Variance for Bike Parking Spaces:

1. That there are special circumstances or conditions (like exceptional topographic conditions, narrowness, shallowness, or the shape of property) that are peculiar to the land or structure for which the variance is sought, that is not applicable to other land or structures in the same zone district.

The special circumstances are related to the scale of this building, its location, and the type of user who will frequent the facility. 170 spaces, which would be required by the code, are too many given the location in the far west corner of the City and the type of user who is traveling from long distances to Kalamazoo for sporting events at the complex. Bike spaces will likely be used by staff and any players or families who live in Kalamazoo or Oshtemo Township.

2. That there are special circumstances which are not the result of the actions of the applicant or titleholder of the land.

The special circumstances are not the result of the actions of the applicant. The facility size, type of use, and location lend themselves to being auto-dependent. Twenty spaces, rather than the 170 required by code, should provide space for local staff, players, and observers.

3. That the literal interpretation and enforcement of the terms and provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other land in the same zone district, and would cause practical difficulty.

Enforcement of the provisions of the Ordinance would result in overbuilding of bike parking for this use, facility size, and location.

4. That the granting of the variance is the minimum action that will make possible the use of the land or structure that is not contrary to the public interest, and that would carry out the spirit of this Ordinance.

This request is the minimum action that will both provide some bike parking for the use, while not constructing more parking than would be used at this site.

5. That the granting of the variance will not adversely affect adjacent land in a material way.

No adjacent properties will be adversely impacted by this request. The site provides space for cycling as a mode of travel to the site.

6. That the granting of the variance will be generally consistent with the purposes and intent of this Ordinance.

The granting of the variance will be consistent with the Ordinance, which ensures that all new development in the City of Kalamazoo provides space for bicycle parking by staff or site users.

RECOMMENDATION:

Staff recommends approval of the above-mentioned variances with the condition drafted by the NFP Review Board stating that the green space and undeveloped areas be replanted using native species with a preference for dense replanting of native tree species.



Community Planning and Economic Development

245 N. Rose Street, Ste. 100

Kalamazoo, MI 49007

PH: (269) 337-8044

FAX (269) 337-8429

www.kalamazoocity.org

NOTICE OF PUBLIC HEARING

December 23, 2025

**RE: ZBA #26-01-02
1617 N. Drake Road
Parcel # 05-12-413-001**

Dear Property Owner:

An application for a variance for provisions of the Zoning Ordinance has been filed with the Zoning Board of Appeals by Discover Kalamazoo for the property at 1617 N. Drake Road in the Residential – Single Dwelling District (RS-5).

Discover Kalamazoo is requesting the following variances for the Kalamazoo County Youth Sports Facility:

1. A variance from the Natural Features Protection Ordinance, Chapter 50, Section 50-6.2 H, to authorize the proposed development to encroach into protected slopes (which have a grade greater than 20%) and protected slope setbacks on the site.
2. A variance from the Natural Features Protection Ordinance, Chapter 50, Section 50-6.2 G, to authorize an 11.5% reduction of the 25% woodland preservation requirement which will result in preservation of 13.5% of the existing woodland.
3. A dimensional variance from Appendix A, Chapter 5.1, to authorize a height of 56 feet for the new facility, where the maximum height for structures in the RS-5 District is 35 feet.
4. A dimensional variance from Appendix A, Chapter 5.1, to authorize a maximum impervious coverage of 56% for the site, where 45% is the maximum impervious coverage allowed in the RS-5 District.
5. A dimensional variance from Chapter 50-7.3, to authorize 20 bike parking spaces for the facility, where 170 bike parking spaces are required based on the maximum occupancy of the sports complex.

Please note that this request will not change the zoning classification of the property. This is a request for variance only regarding the items described above.

The meeting will be held on Thursday, January 8, 2026, at 7 p.m. in the City Commission Chambers at City Hall, 241 W. South Street. This meeting will also be streamed live on the [City's Facebook page](#) and [YouTube Channel](#).

To examine documents related to this request or provide written comments, please contact Pete Eldridge at eldridgep@kalamazoocity.org or call (269) 337-8806. The agenda will be posted at <https://www.kalamazoocity.org/boards>

Sincerely,

Peter C. Eldridge, AICP
Zoning Administrator

Zoning Board of Appeals Application



Submitted on	11 December 2025, 2:43PM
Receipt number	59
Related form version	14

Introduction

Have you scheduled a pre-application meeting?	Yes
---	-----

Applicant Information

Name	Brian Persky
Organization (if applicable)	Kalamazoo County Event Center Assessment District
Email Address	bpersky@discoverkalamazoo.com
Phone Number	269-488-9000
Address	240 W Michigan Ave, Kalamazoo, MI 49007, USA Map (42,2918479, -85,5857698)
Preferred Contact Method	Email
Are you the property owner?	No

Property Owner Information

Name	Westgate 131, LLC
Mailing Address	4200 W Centre Ave, Portage, MI 49024, USA Map (42,1984775, -85,6412658)
Phone Number	2693232022
Email Address	caardema@avbinc.com
Preferred Contact Method	Email
Authorization from property owner:	ZBA - Letter from Property Owner.pdf

Property and Application Details

Property Address	1617 N Drake Rd, Kalamazoo, MI 49006, USA Map (42,3072496, -85,6485273)
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WESTGATE 131, LLC

11 December 2025

Mr. Peter Eldridge, AICP
City of Kalamazoo, Zoning Administrator
245 N. Rose St., Ste. 100
Kalamazoo, MI 49007

RE: Kalamazoo County Youth Sports Facility

Dear Mr. Eldridge:

We are excited to provide our permission to the Kalamazoo County Event Center Assessment District (KCECAD) as they explore a new regional youth sports facility on our parcel at 1617 N. Drake Road in Kalamazoo.

Please contact us with any questions at 269-329-3656.

Sincerely,

Westgate 131, LLC

11 December 2025

Mr. Peter Eldridge, AICP
City of Kalamazoo, Zoning Administrator
245 N. Rose St., Ste. 100
Kalamazoo, MI 49007

RE: Kalamazoo County Youth Sports Facility

Dear Mr. Eldridge:

We are excited to be working on a new youth sports facility to serve the Kalamazoo region. The project is a direct result of an identified need for additional indoor youth sports opportunities in the community, and the project is led by the Kalamazoo County Event Center Assessment District (KCECAD) with representation from Kalamazoo County, the City of Kalamazoo, Oshtemo Township, and Discover Kalamazoo.

Project History

The concept of a youth sports facility in Kalamazoo grew out of a study conducted by CSL International, which is a professional consultant focused on sports, entertainment, and hospitality. The study originally started to consider the need for a new Kalamazoo arena, but quickly identified a clear community gap in local youth sports programming.

Led by Discover Kalamazoo, a full analysis was carried out to further explore youth sports within the region. Again, supported by research from CSL, the study pointed to the need for indoor sports programming, but specifically a new facility focused on basketball, volleyball, and indoor turf sports. The task then shifted to determining an appropriate site for the proposed new facility. The objectives for the site included easy highway access, close proximity to restaurants, hotels, entertainment, and room for potential expansion.

The proposed Westgate site was eventually selected from a collection of over 30 sites around Kalamazoo County. The property met the key objectives and provided the opportunity to locate the new facility in the City of Kalamazoo, alongside a close partnership with Oshtemo Township to accommodate supporting infrastructure and amenities.

As currently planned, the new youth sports facility will be a magnet for attracting out-of-town visitors to stay in local hotels, shop at local retailers, and dine at local restaurants. The facility will also provide local Kalamazoo-area teams with the opportunity to host regional sports competitions. In addition, the community will have access to the facility throughout the week for local programming.

Project Design and Timeline

The project committee has been working diligently to develop concept designs for the new building. To support architecture and construction services, the KCECAD members have competitively hired Tower Pinkster (architecture), AVB (construction management), and Hurley & Stewart (civil engineering). All three firms are based in Kalamazoo County, employ dozens of local residents, and have been engaged in similar local projects for decades.

With a clear community benefit and need identified for the new youth sports facility, the goal is to open for use in mid-2027. Construction is anticipated to start in the spring of 2026 and take approximately fourteen months to complete, pending municipal reviews and approvals.

The proposed new building offers several special features that elevate its connection to the community, but it also includes essential elements that make it viable for use by youth sports teams. The design incorporates glass to enhance natural light during daytime use. The glass also serves as a beacon to the broader community as it glows during evening events. Overall, the design is intended to provide Kalamazoo with a best-in-class youth sports center that will enhance access for the local community but also attract visitors that support economic development efforts.

Request for Variances

While the proposed project is a permitted use within the existing zoning district, there are elements unique to the site and the project that have led to our request for several variances, including:

Building Height:

The proposed new building is intended to serve the youth sports community and indoor sports such as volleyball and basketball. Both sports, especially volleyball, require ceiling heights that meet minimum standards for tournaments. If the minimum standards are not met, the tournaments will not come to Kalamazoo. Moreover, the proposed project is requesting the ability to build up to 56 feet in total

exterior height, versus the permitted 35 feet. We believe this additional height is warranted due to:

- The isolation of the site adjacent to US-131 and vacant land. The land to the south in Oshtemo Township is zoned for commercial development, the land to the north in Oshtemo Township is zoned for agricultural uses, the land to the east is owned by a partner supportive of the project, and the land to the west is owned by Consumers Energy for utilities. These adjacent land uses will not be negatively impacted by a taller building on the proposed project parcel.
- Several nearby existing uses include buildings taller than 56 feet, including the adjacent 5-story Holiday Inn and 6-story Evergreen North Apartments. Additional nearby buildings include the 4-story Holiday Inn Express, the 3-story Summer Ridge apartments, the 3-story Storypoint at Bronson Place, and the 3-story Wyatt apartments. Furthermore, the proposed taller building for this project will blend with the surrounding existing buildings. (see attached photos of nearby building)
- The taller section of the building (where the sports are played) has been intentionally placed near the low point of the site to help reduce the impact of the building's height. This is approximately 30 feet lower than the site's high point. By placing the building at a lower elevation, the impact of the taller building to surrounding parcels will be greatly reduced.
- The taller section of the building has been placed adjacent to US-131 and the high-voltage power lines to mitigate the impact of its proposed height.

Lot Coverage Ratio:

The site plan for the project has been substantially changed to reduce the impervious coverage of the site, but the design still requires a proposed lot coverage ratio of 56%, versus the zoning district permitted 45% coverage. We believe the proposed lot coverage variance is justified due to the following unique conditions of the project and site:

- The site is in an isolated location at the extreme western edge of the City of Kalamazoo. Future uses around the proposed project site are primarily commercial and agricultural in composition. This isolated condition is relatively unique in the typically urban development pattern of the City of Kalamazoo.

- The project is a regional sports facility that is intended to support local youth but also attract visitors from a 3-hour radius of Kalamazoo. To accommodate visitors, the facility must include enough courts to meet tournament standards. The courts are flat and must be on a single level. The location of this particular site is critical to the long-term success of a regional sports facility with highway access, limited residential neighbors, and room for future growth and community collaborations.
- The site is extremely unique in that the building footprint will be located in the City of Kalamazoo, but the primary access street will be located in Oshtemo Township, which partners with the Road Commission of Kalamazoo County for local roads. Road Commission policy does not permit on-street car parking, which means that all parking needs for this facility must be met in the on-site surface parking lot. If on-street parking was to be permitted, as in the City of Kalamazoo, some parking capacity could be shifted onto the street, which would subsequently reduce the size of the parking lot.
- The project team has modified the building footprint to incorporate a mezzanine level, which means that non-sports functions have been stacked to reduce the building footprint and its lot coverage.
- Due to the size and use of the building, a paved access ring road is being incorporated into the site design at the Fire Marshal's request. This is essential for fire protection, but it also adds to the overall lot coverage as additional asphalt service.

Bike Parking Space Reduction:

This project is intended to be welcoming to all in the community and intends to provide ample bike parking opportunities, but the project team does not believe the construction of over 170 bike parking spaces is necessary at this particular site. Furthermore, we believe that 20 bike parking spaces located near the front entrance to the building is more than enough to accommodate local and regional demands. Our view is that this request for a reduction in bike parking spaces is justified based on the following information:

- The isolation of the site makes it unique in the typically urban environment of the City of Kalamazoo. At the western limit of the city adjacent to US-131 and surrounded by vacant land, the practicality of biking into the facility is challenged. That said, we are accommodating

those that do choose to travel by bike with 20 bike parking spaces near the front of the building.

- Many visitors to the facility will be traveling by car from the surrounding region and staying at hotels throughout Kalamazoo County. Research from similar facilities indicates that the majority of visitors to the site will arrive in multiple occupancy vehicles with sports gear and equipment in tow.
- Public transit options are located near the site on West Main Street and discussions continue with Metro on additional service opportunities in the area.

Natural Features: Woodlands

The project team has been actively studying the goals and objectives of the City's Natural Features Protection overlay that covers the proposed Westgate location. Moreover, the team supports the vision of protecting natural features in the City and subsequently guiding site development as outlined in the zoning code. We believe the resulting youth sports center design reflects these objectives, but requires some flexibility due to the unique nature of the project.

The 20-acre site proposed for the project is a part of a larger parcel that was carved out of Oshtemo Township by the City of Kalamazoo several decades ago. Much of the larger parcel was cleared of trees at that time in preparation for the development of a cemetery in the 1960's and 1970's (Mt. Ever Rest North). The cemetery project was started along Drake Road, but was not fully completed. The remaining land, including the 20-acre parcel proposed for this project, sat idle for many years due to its relative isolation from the city of Kalamazoo.

Since the 20-acre parcel remained unused for many years after the stalled cemetery development, it has become wooded with new tree growth. The project team has studied these trees carefully to determine the quality and character of the growth. As such, the project design has been adjusted to accommodate a group of trees at the northeast quadrant of the parcel. The building footprint was also shifted to preserve an area of trees at the southwest section of the site. We are continuing to examine the trees on the parcel to see if additional opportunities for conservation may exist. With these efforts in mind, the project still requires a removal of 86.5% of the trees on the 20-acre parcel, which exceeds the Natural Features Protection standard of 75%. Since the building's use requires a large floor area and a parking lot, we have not found an alternate to the proposed clearing percentage of 86.5%.

As noted earlier, if street parking was permitted, the parking lot could be further reduced in size. Through the design adjustments that have been made, however, we believe that many of the critical woodland areas will be preserved. Overall, the project team believes that the Woodlands variance is justified based on the following information:

- The site was cleared of trees by a previous owner for use as a cemetery, which is the reason the parcel is located inside of City limits. As such, most of the trees have grown haphazardly since that clearing. The section of older and larger trees in the northeast section of the project site is intentionally preserved in the project design.
- The unique use of this site as a regional public sports facility requires a larger building footprint and supporting parking spaces. As such, the site requires clearing at a scale to support a regional facility, but it is also committed to new native tree plantings.

Natural Features: Slopes

The design team has been researching the slopes on the 20-acre parcel and have found several deeper cuts on the site. Some of these cuts may be from the nearby construction of US-131 in the 1960's as much of the area was historically used for agricultural purposes. Similar to the woodlands scenario, the project design has been adjusted to accommodate for the slopes on the site. More specifically, the building has been redesigned to be tiered in order to maintain an area of lower grades. The building has also been shifted to accommodate a lower grade area near US-131. As noted with the woodlands condition, the use of the building requires a flat floor area for sports competitions that cannot be practically accommodated on multiple levels. This condition will require the removal of two slope areas that currently exist on the 20-acre parcel. All efforts are being made, however, to respect existing grades on the site. We believe the requested changes in slope areas on the site will be justified by the following:

- The site has been previously graded and was planned for use as a cemetery.
- The construction of an adjacent highway could have altered the slopes with the potential that soil piles and soil removal supported that major road construction project.
- The project is unique as a regional sports facility that is intended to support local youth sports programs but also draw regional tournaments and visitors to Kalamazoo. As a result, the building footprint and parking lot are sized to meet the needs of similar facilities around the nation.

- The project is maintaining several of the natural grades on the site by shifting the building footprint and stormwater pond to the far western edge of the site.

Summary

We greatly appreciate the Board's consideration of flexibility for this important community project. We are actively sending our team out to comparable sites to explore creative design ideas. These ideas are also being filtered through the important lens of Natural Features Protection, the Zoning Ordinance, and the goals of the Kalamazoo community. Your support for the proposed youth sports center's design and variance requests will help to bring access to local youth, but also economic development opportunities for local businesses.

Thank You,

Kalamazoo County Event Center Assessment District (KCECAD)

NFP Submittal Set

YOUTH AMATEUR SPORTS FACILITY

1617 N Drake Road
City of Kalamazoo
Kalamazoo County, MI
12/1/25

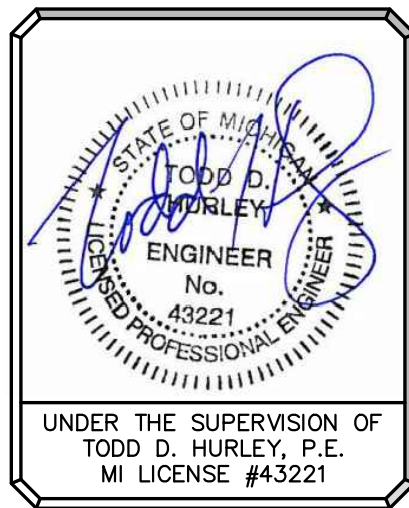
OWNER

DISCOVER! KALAMAZOO
240 WEST MICHIGAN AVE
KALAMAZOO, MI 49007
269.488.9000

PLANS PREPARED BY:



hurley & stewart, llc
2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com



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FIBER OPTIC

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(269) 377-1308, TROY QUAKENBUSH
TQUAKENBUSH@Q3-TECH.COM

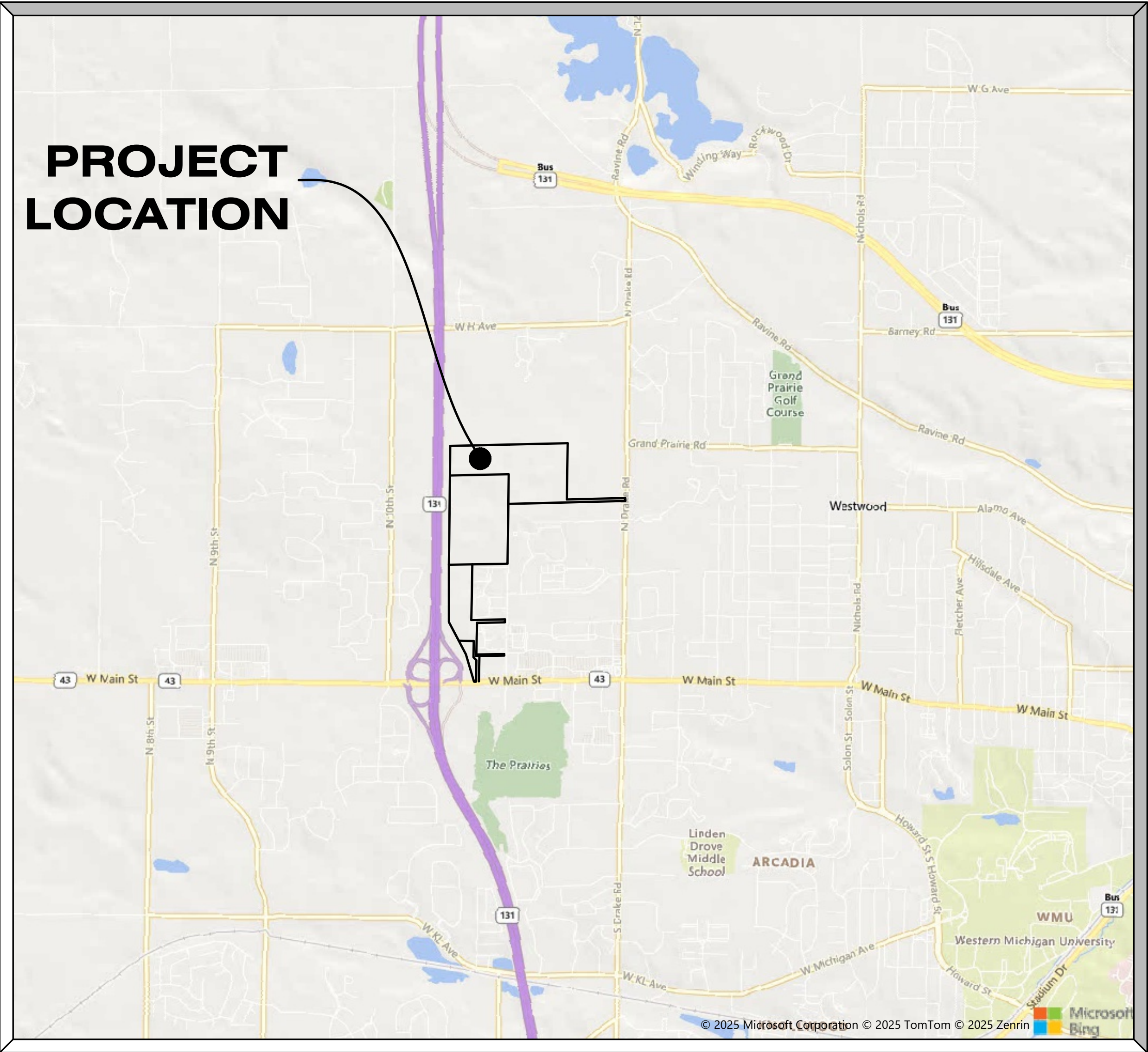
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WATER

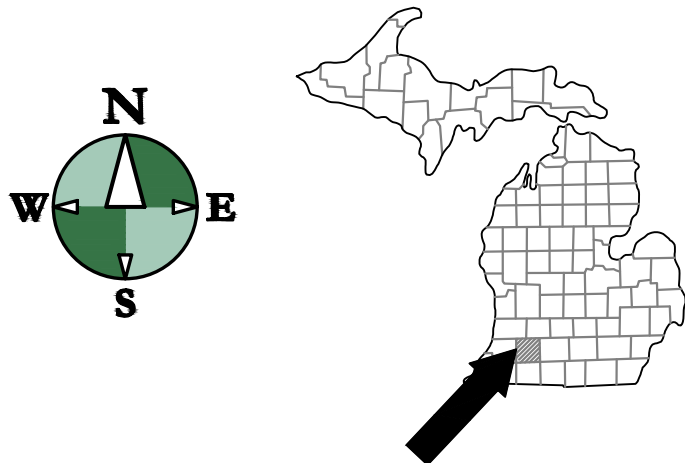
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1415 NORTH HARRISON STREET
KALAMAZOO, MI 49007
(269) 337-8551, MR. RYAN STOUGHTON
STOUGHTONR@KALAMAZOOCITY.ORG

SEWER



SITE LOCATION MAP

SCALE: 1" = 2000'



DRAWING INDEX

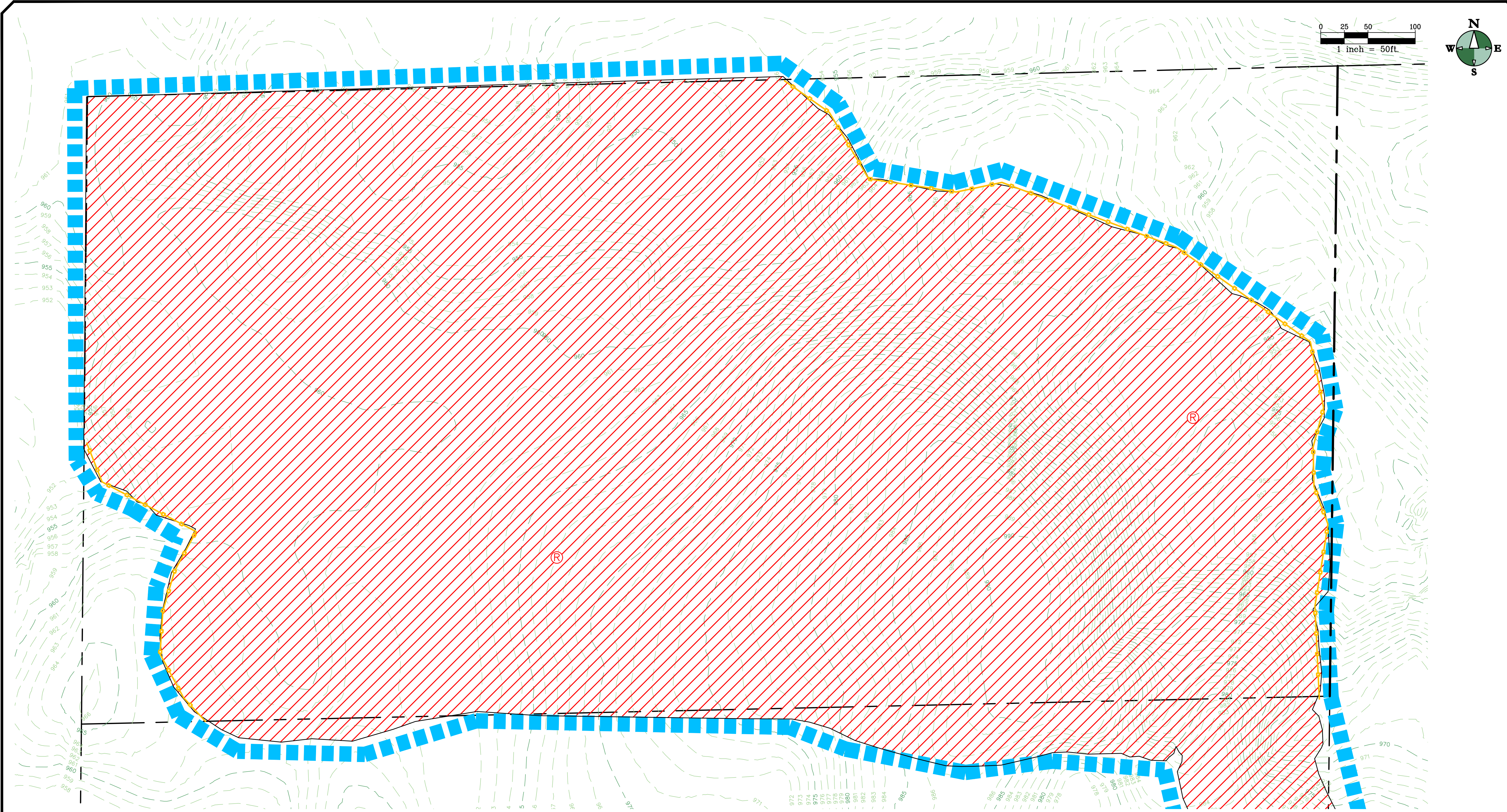
SHT #	DESCRIPTION
C 000	- TITLE SHEET
CD 101	- EXISTING CONDITIONS AND DEMO PLAN
SPORTS FACILITY	
CD 102	- NFP TREE LOT DETERMINATION
CD 103	- NFP SLOPE EVALUATION
C 100	- SITE LAYOUT PLAN
C 200	- SITE GRADING PLAN
C 300	- SITE UTILITY PLAN
C 400	- NFP DETAILS

PRELIMINARY
NOT FOR CONSTRUCTION



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS
DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE
RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE
EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY
ARE THE ONLY UTILITIES IN THE AREA.
FIELD WORK PERFORMED BY:
HURLEY & STEWART, LLC

ISSUED FOR:
NFP SUBMITTAL
12/1/25



REMOVAL NOTES

1. REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
2. SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
3. ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
4. COMPLY WITH ALL ASPECTS OF THE SOIL EROSION CONTROL PERMIT AS ISSUED BY KALAMAZOO COUNTY. ALL TEMPORARY CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
5. ALL REMOVALS SHALL BE TO THE LIMITS INDICATED UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
6. REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
7. REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
8. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
9. FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

REMOVALS LEGEND

-  PAVEMENT/SIDEWALK REMOVAL
-  SAWCUT
-  TREE REMOVAL
-  LIMITS OF CONSTRUCTION
-  REMOVE
-  TREE PROTECTION

TREE REMOVAL PERCENTAGES

100% OF CURRENT SITE IS TREELOT
86.5% OF 20 ACRE SITE TREE TO BE REMOVED

PRELIMINARY
NOT FOR CONSTRUCTION



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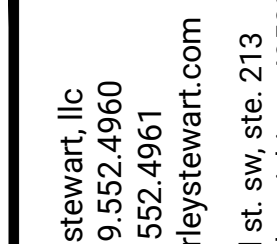
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Project: **WESTGATE ATHLETIC**
Client: **DISCOVER KALAMAZOO**

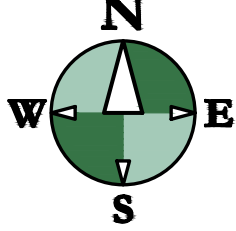
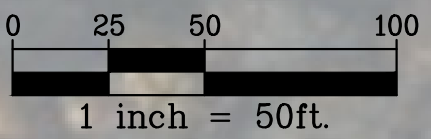
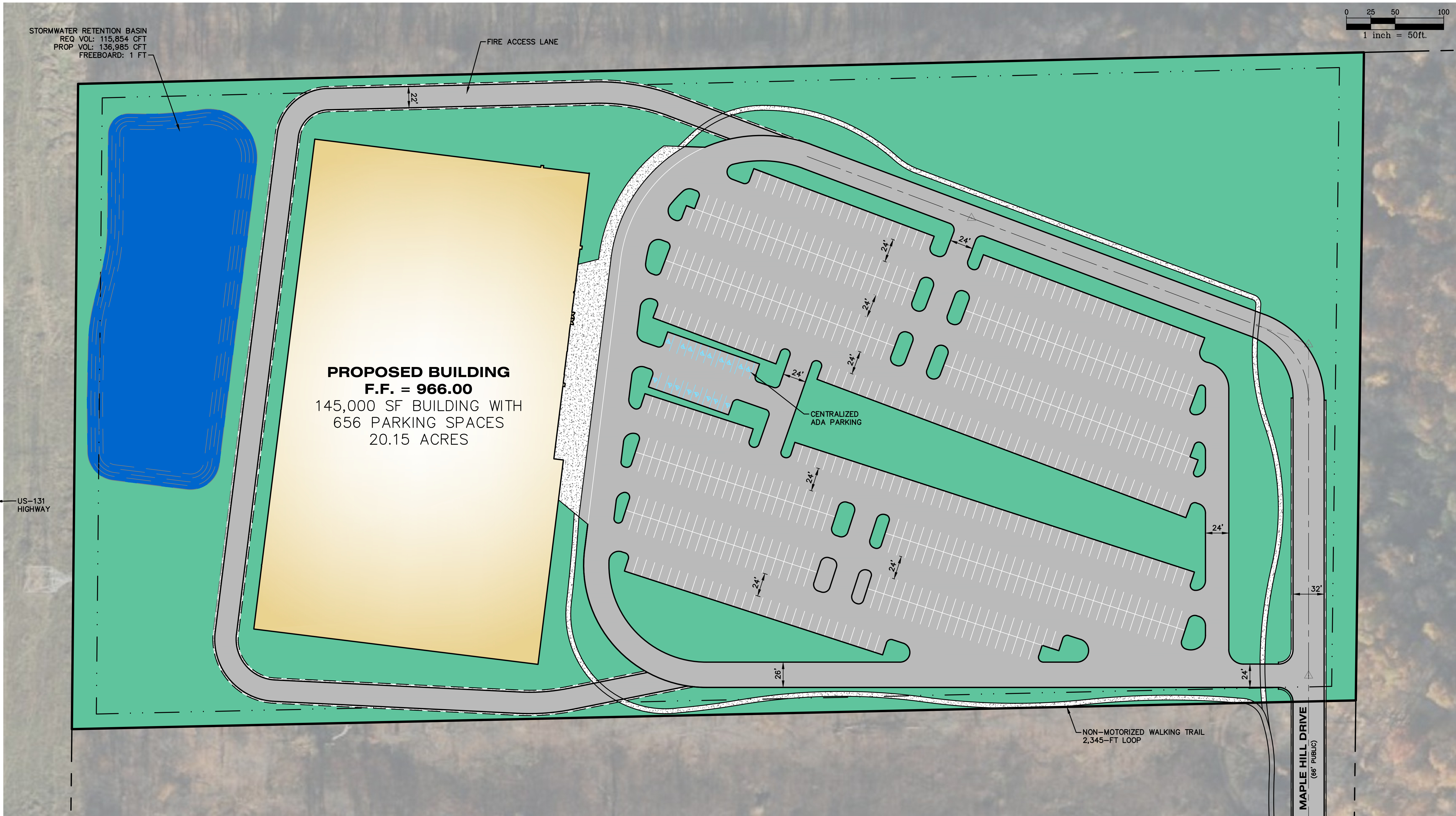
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grand rapids, michigan 49503





STORMWATER RETENTION BASIN
REQ VOL: 115,854 CFT
PROP VOL: 136,985 CFT
FREEBOARD: 1 FT

FIRE ACCESS LANE

PROPOSED BUILDING
F.F. = 966.00
145,000 SF BUILDING WITH
656 PARKING SPACES
20.15 ACRES

US-131
HIGHWAY

CENTRALIZED
ADA PARKING

NON-MOTORIZED WALKING TRAIL
2,345-FT LOOP

MAPLE HILL DRIVE
(66' PUBLIC)

GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE TO THE EDGE OF METAL.
- PROVIDE CURB CUTS/RAMPS AT ALL BARRIER FREE ACCESS POINTS.
- PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND MICHIGAN BARRIER FREE CODE.
- ALL ADA ACCESS AISLES TO BE STRIPED AT 45° WITH 4 INCH BLUE STRIPES SPACED 24 INCHES ON CENTER.
- EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AND CITY OF KALAMAZOO STANDARDS SPECIFICATIONS.
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- ALL EXTERIOR CONCRETE SHALL BE MDOT GRADE P1 (3500PSI), AIR ENTRAINED, LIMESTONE AGGREGATE, BROOM FINISHED, CURING SEAL.
- THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS II GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
- ANY BITUMINOUS OR CONCRETE PAVEMENT, SANITARY SEWER, SANITARY SEWER SERVICE LEADS, OR STORM SEWER, WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- ALL UNSUITABLE SUBBASE MATERIAL MUST BE REMOVED TO A MINIMUM DEPTH OF 24" BELOW THE TOP OF THE SUBGRADE OR AS DETERMINED BY THE COUNTY ENGINEER.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

LEGEND

- | | |
|--|--------------------------------|
| | BITUMINOUS PAVEMENT |
| | CONCRETE PAVEMENT AND SIDEWALK |
| | PROPOSED BUILDING |
| | PARKING STRIPING (BLUE) |
| | PARKING STRIPING (WHITE) |
| | CURB AND GUTTER |
| | PROPOSED WET RETENTION BASIN |

PRELIMINARY
NOT FOR CONSTRUCTION



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FIELD WORK PERFORMED BY:

SITE LAYOUT PLAN YOUTH AMATEUR SPORTS FACILITY DISCOVER KALAMAZOO

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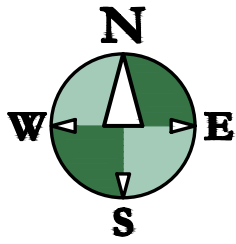
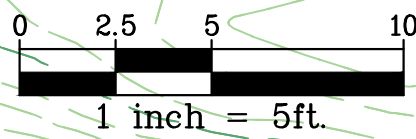
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STORMWATER RETENTION BASIN
REQ VOL: 115,854 CFT
PROP VOL: 136,985 CFT
FREEBOARD: 1 FT



PROPOSED BUILDING
F.F. = 966.00

GRADING & SESC NOTES

- ALL WORK WILL COMPLY WITH THE PROVISIONS OF THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (PA 451, PART 91 OF 1994 AS AMENDED) ADMINISTERED BY THE CITY OF KALAMAZOO.
- FOR INSTALLATION SPECIFICATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL (SESC) MEASURES, REFER TO THE STATE OF MICHIGAN DEPARTMENT OF TECHNOLOGY, MANAGEMENT, AND BUDGET (DTMB) SESC MANUAL.
- AVOID UNNECESSARY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE AREAS ACT AS SEDIMENT FILTERS.
- ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEANUP AND APPROVAL.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
- ALL SOIL PILES SHALL BE SURROUNDED BY SILT FENCE IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 7 DAYS. TOPSOIL PILES SHALL BE SEEDED IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 20 DAYS. SPOIL PILES SHALL NOT BE PLACED WITHIN 50' FROM ANY TEMPORARY OR PERMANENT WATERCOURSE.
- THE CONTRACTOR SHALL COMPLY WITH THE WEEKLY RECOMMENDATIONS OF THE CERTIFIED STORM WATER OPERATOR.
- PROVIDE SILT SACKS IN EACH CATCH BASIN UNTIL SITE IS STABILIZED.
- SEE LANDSCAPING PLAN FOR FINAL SLOPE TREATMENTS.
- PLACE TOPSOIL AND SEED ACCORDING TO THE LANDSCAPE PLANS AS SOON AS AREAS ARE BROUGHT TO GRADE.
- WATER SITE WHEN NECESSARY TO PREVENT AIR BORNE SEDIMENT TRANSFER.
- STRAW MULCH BLANKETS SHALL BE USED ON 3:1 SLOPES OR GREATER. ALL SLOPES ON SITE SHALL BE 4:1 OR LESS, UNLESS OTHERWISE DIRECTED BY ENGINEER.

- MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN. MATCH AT 1 ON 6 IF NOT LABELED.
- ALL EXCAVATION AND SITE PREPARATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT, TBD PROJECT NO. _____ ISSUED MM/DD/YYYY.
- THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
- ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
- REMOVE AND REPLACE WITH CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
- ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS II GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL COMPACTION SHALL BE ACCOMPLISHED BY PLACING THE FILL IN 12" LOOSE LIFTS AND MECHANICALLY COMPACTING EACH LIFT TO AT LEAST THE SPECIFIED MINIMUM DRY DENSITY. FIELD DENSITY TESTS SHOULD BE PERFORMED ON EACH LIFT AS NECESSARY TO ENSURE THAT ADEQUATE MOISTURE CONDITIONS AND COMPACTION ARE BEING ACHIEVED.
- SITE CONTRACTOR SHALL REMOVE AND STOCKPILE ALL TOPSOIL AND BLACK ORGANIC SOILS ON-SITE TO BE USED IN THE REGRADING OF LANDSCAPE AREAS. THIS MATERIAL IS NOT TO BE USED FOR FILL OR PAVEMENT SUBBASE. REMOVAL OF ANY EXCESS SOIL OFF-SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR RESPONSIBLE FOR VERIFYING EARTHWORK CALCULATIONS PRIOR TO COMMENCING WORK. NO EXTRA EARTHWORK WILL BE PAID FOR ONCE EARTHWORK HAS BEGUN. ANY DISCREPANCIES WITH THE EARTHWORK CALCULATIONS SHALL BE

REVIEWED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.

- CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. SCRAPE ROAD AT THE END OF EACH WORKDAY AND SWEEP AT LEAST ONCE A WEEK.
- ANY DISTURBED AREA THAT WILL BE LEFT UNWORKED 5 DAYS OR LONGER MUST BE SEEDED AND MULCHED OR SODDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
- ROAD RIGHTS-OF-WAY MUST BE STABILIZED WITH SEED AND MULCH WITHIN 5 DAYS OF COMPLETING UTILITY WORK IN THE RIGHT-OF-WAY.
- AREAS OF EARTH CHANGE THAT ARE DISTURBED BEYOND THE FALL SEEDING DEADLINE (NOV. 1) MUST BE TEMPORARILY STABILIZED WITH A MINIMUM OF STRAW MULCH SECURELY CRIMPED TO THE GROUND.
- ACCUMULATED SEDIMENT TO BE REMOVED FROM STORM SYSTEM UPON COMPLETION OF CONSTRUCTION. ALL TEMPORARY CONTROLS TO BE REMOVED AFTER SITE IS STABILIZED AND VEGETATION ESTABLISHED.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ONLY EROSION CONTROL BLANKETS SUCH AS NORTH AMERICAN GREEN BIONET S150BN AND WESTERN WOOD FIBERS EXCEL SS-2 ALL NATURAL (BIODEGRADABLE JUTE/SORIM NETTING WITH LEVO WEAVE TYPE MESH) OR EQUIVALENT ARE CONSIDERED ACCEPTABLE PRODUCTS. NET EROSION BLANKETS CONTAINING PLASTIC OR SYNTHETIC NET OR NETTING SHALL NO LONGER BE AUTHORIZED, NOR APPROVED FOR USE.

GRADING PLAN LEGEND

- PROPOSED CONTOUR 5-FT
- PROPOSED CONTOUR NORMAL
- EXISTING CONTOUR 5-FT
- EXISTING CONTOUR NORMAL
- PROPOSED SPOT GRADE
- PROPOSED SPOT GRADES: TOP AND BOTTOM OF CURB/WALL
- EXISTING SPOT GRADE

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NOT FOR CONSTRUCTION



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FIELD WORK PERFORMED BY:

SITE GRADING PLAN YOUTH AMATEUR SPORTS FACILITY DISCOVER KALAMAZOO

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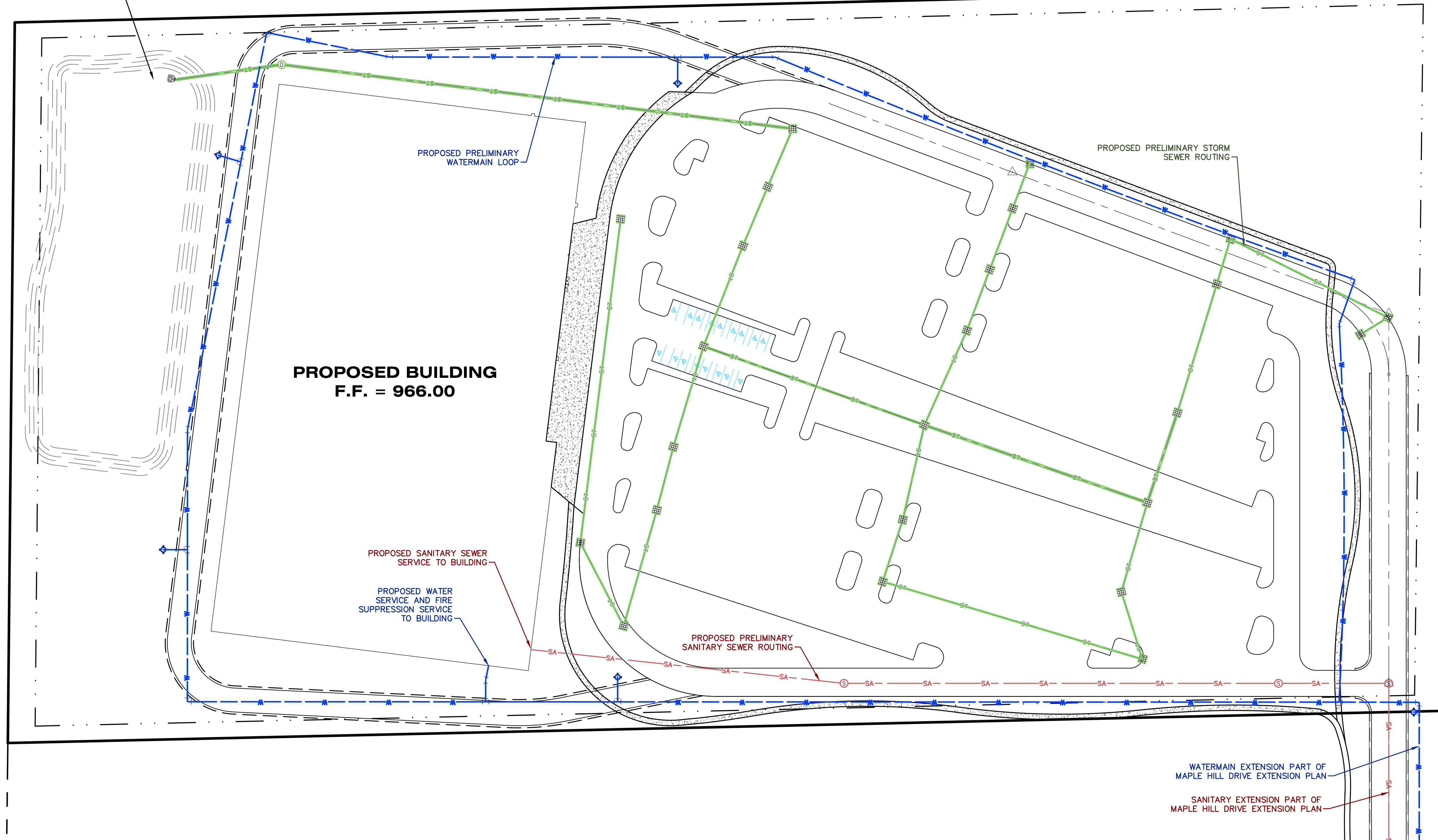
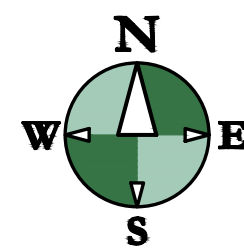
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grand rapids, michigan 49503

STORMWATER RETENTION BASIN
REQ VOL: 115,854 CFT
PROP VOL: 136,985 CFT
FREEBOARD: 1 FT

0 25 50 100
1 inch = 50ft.



UTILITY NOTES

- FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
- ALL MATERIAL AND CONSTRUCTION WILL BE IN ACCORDANCE WITH THE MOST RECENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT). MDOT SPECIFICATIONS ARE SUBJECT TO THE CURRENT ADDENDA. IN ADDITION, ALL WORK WILL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL AND STATE STANDARDS AND REGULATIONS.
- PLACE SANITARY CLEANOUT EVERY 100' AND/OR AT BENDS ON ALL 6" SANITARY SEWER LEADS.
- ALL BEDDING MATERIAL TYPES ARE TO BE PER MDOT SPEC. 402.03.
- DEWATERING MAY BE REQUIRED TO INSTALL OR REMOVE SOME UTILITIES. REFER TO SPECIFICATIONS FOR SPECIFIC REQUIREMENTS. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
- ALL STRUCTURE CASTINGS TO BE EAST JORDAN IRON WORKS OR APPROVED EQUAL. SEE STRUCTURE TABLE FOR SPECIFIC CASTING AT EACH STRUCTURE.
- STORM SEWERS SHALL BE CONCRETE C76-III, SOLID WALL ADS N-12 RIGID PIPE MEETING AASHTO M-294, TYPE S, OR APPROVED EQUAL INSTALLED PER THE REQUIREMENTS OF MDOT AND CITY OF KALAMAZOO. MANDREL TESTING SHALL BE PERFORMED PRIOR TO PAVING. USE CONCRETE PIPE WHERE INDICATED.
- VERIFY LOCATION AND ELEVATION OF EXISTING SANITARY LEAD PRIOR TO ORDERING STRUCTURES AND CONSTRUCTION.
- ALL WATER MAIN INSTALLED IN GROUNDWATER SHALL BE WRAPPED WITH POLYETHYLENE.
- PROVIDE 18" WATER MAIN SEPARATION WHEN CROSSING OTHER UTILITIES. DEFLECT UNDER OTHER UTILITIES W/O USING FITTINGS WHENEVER POSSIBLE. SEE WATER MAIN PROFILE SHEET.
- VERIFY NUMBER OF FITTINGS PRIOR TO ORDERING. TOTALS DO NOT INCLUDE VERTICAL DEFLECTIONS THAT MAY BE NEEDED.
- THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR GROUNDWATER AND SOILS INFORMATION. ANY UTILITIES REQUIRING DEWATERING SHALL BE INSTALLED TO THE CITY OF KALAMAZOO STANDARDS AND INCLUDED IN THE INSTALLATION COSTS. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING NECESSARY TO CONSTRUCT UTILITIES IN THE DRY.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY CONNECTIONS WITH UTILITY COMPANIES.
- SITE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL UTILITIES TO 5' FROM BUILDING WALL.
- COORDINATE ALL UTILITY LOCATIONS AND ELEVATIONS WITH MECHANICAL DRAWINGS AND BUILDING CONTRACTOR PRIOR TO INSTALLATION.
- SANITARY SEWER MATERIALS AND INSTALLATION SHALL COMPLY WITH CITY OF KALAMAZOO REQUIREMENTS. COORDINATE WORK AND INSPECTIONS WITH CITY OF KALAMAZOO.
- WATER SUPPLY MATERIALS AND INSTALLATION SHALL COMPLY WITH CITY OF KALAMAZOO UTILITIES REQUIREMENTS AND SPECIFICATIONS. COORDINATE CONNECTIONS WITH CITY OF KALAMAZOO.
- SEE SITE ELECTRICAL PLAN FOR LOCATION OF ALL ELECTRICAL SLEEVES AND CONDUIT.
- UNDERGROUND ELECTRICAL SHALL BE PROVIDED TO THE SITE LIGHT POLES.
- REMOVE SEDIMENT FROM ALL STRUCTURES ONCE PAVING IS COMPLETE AND REMOVE SILT SACKS.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

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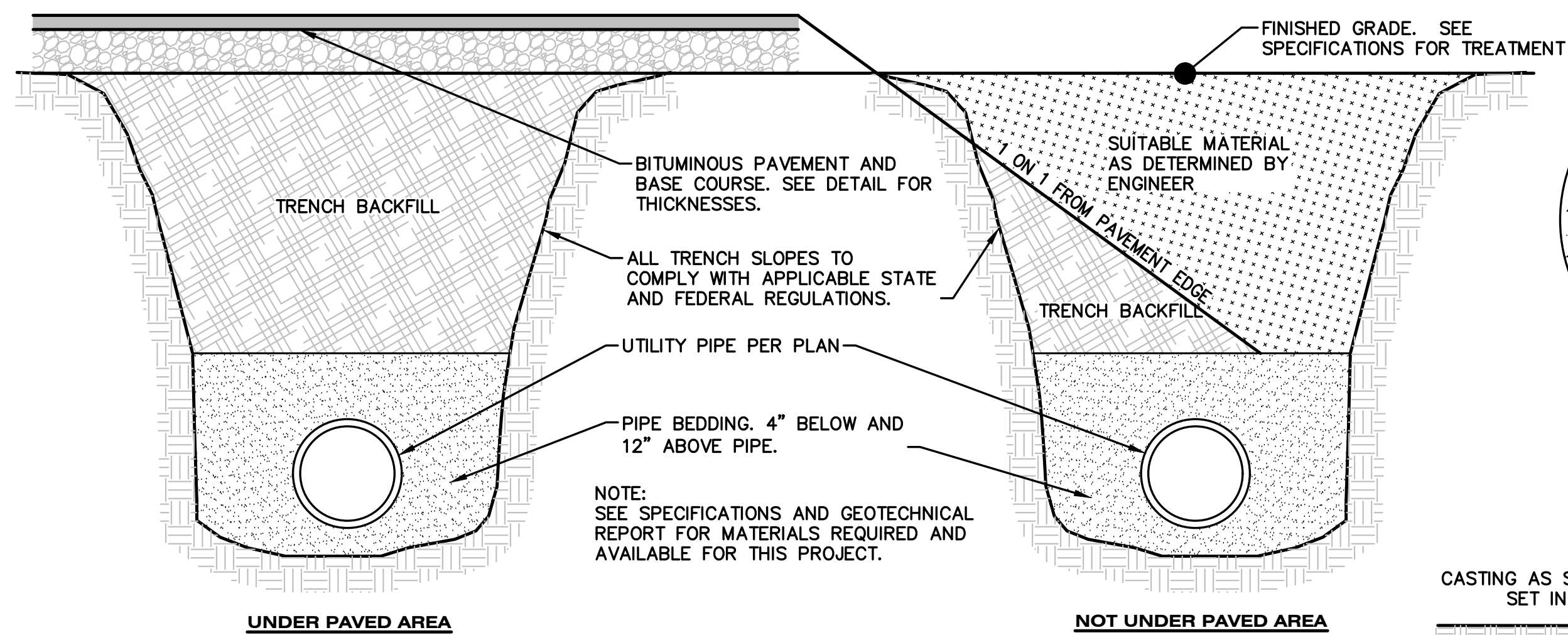
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SITE UTILITY PLAN
YOUTH AMATEUR SPORTS FACILITY
DISCOVER KALAMAZOO

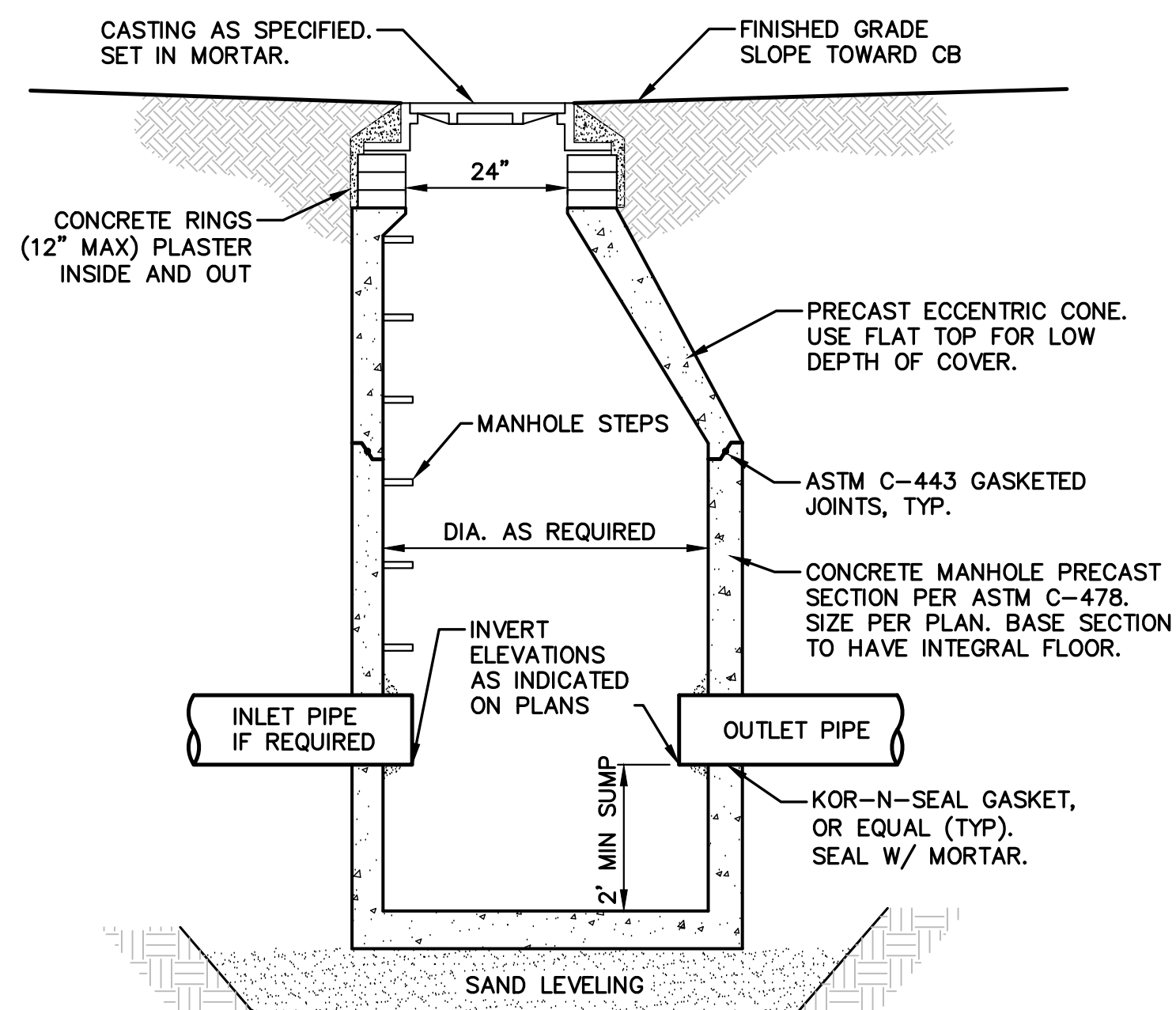
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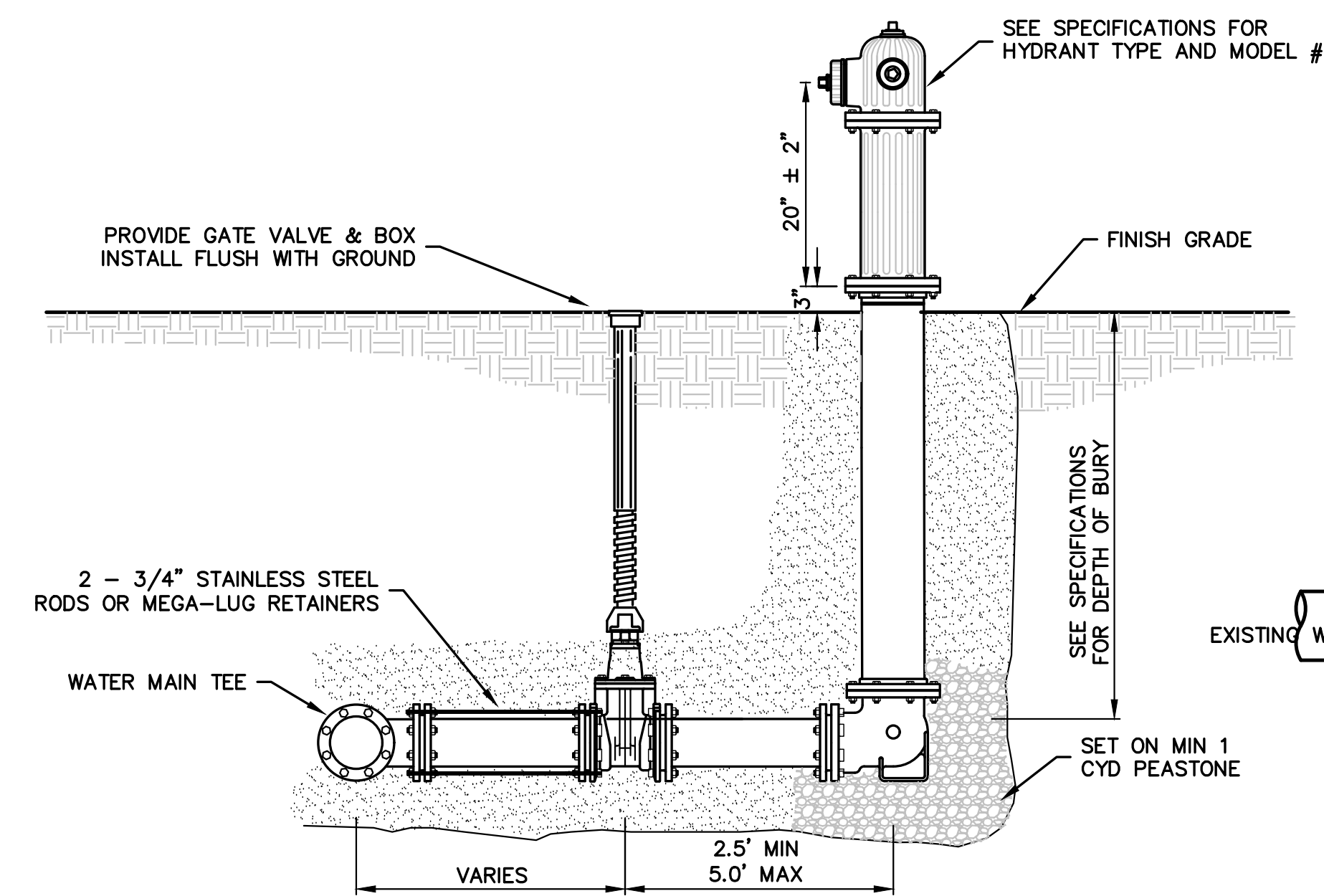
TRENCH DETAILS

NOT TO SCALE



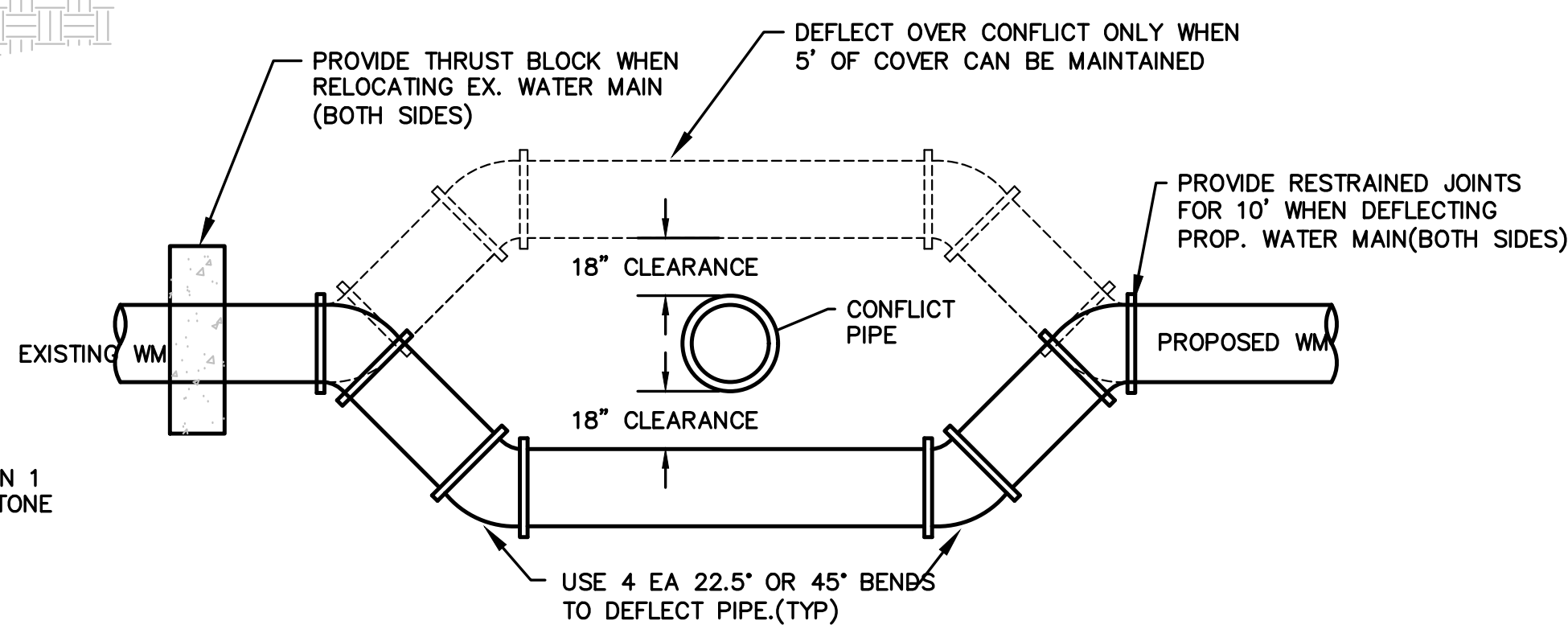
CATCH BASIN DETAIL

NOT TO SCALE



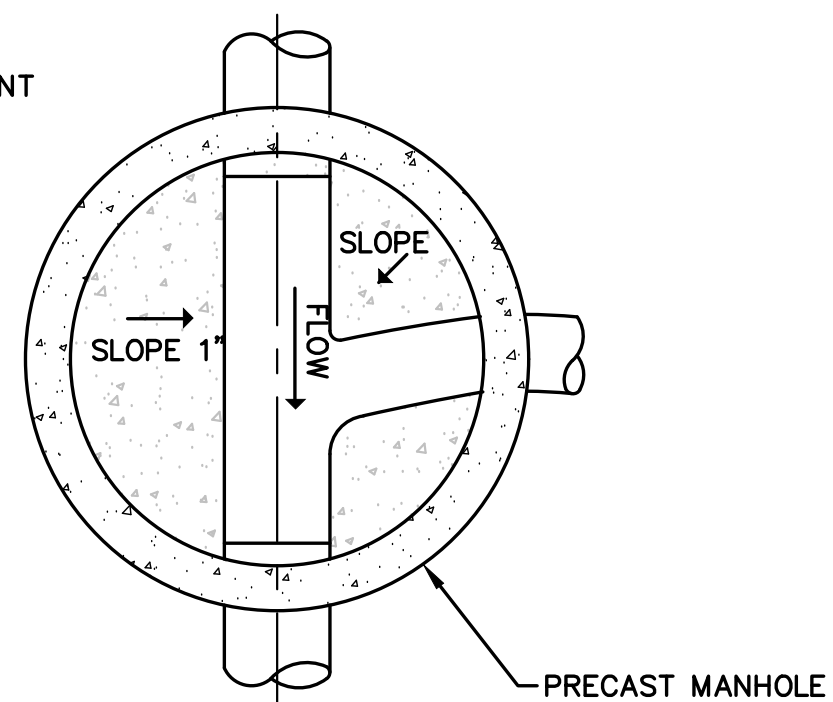
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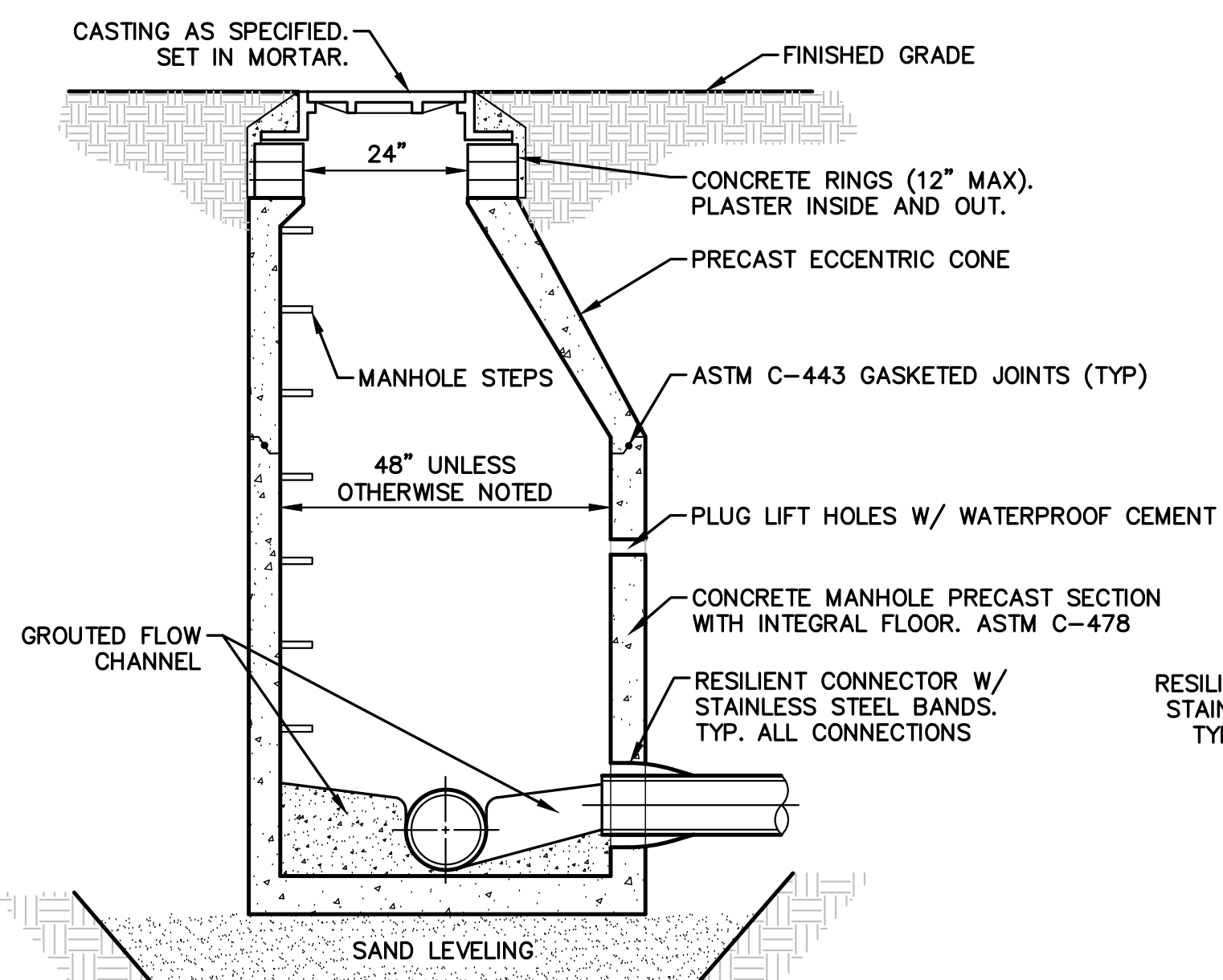


WATER MAIN DEFLECTION DETAIL

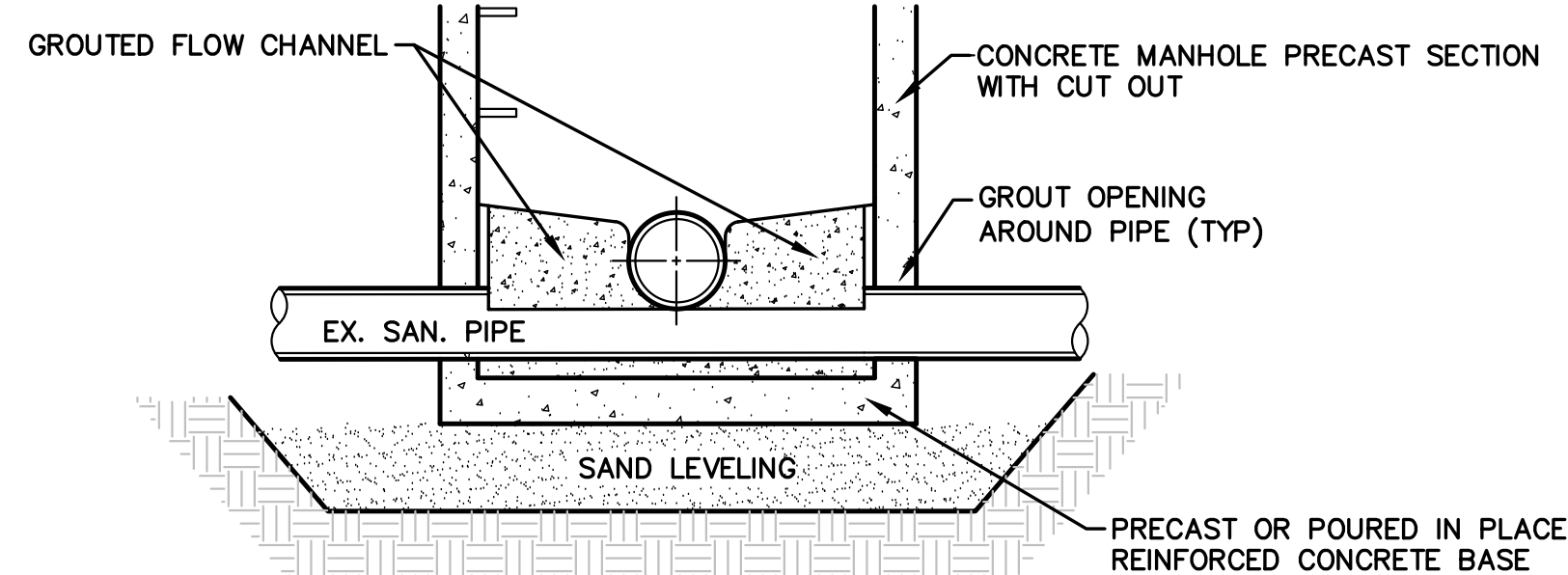
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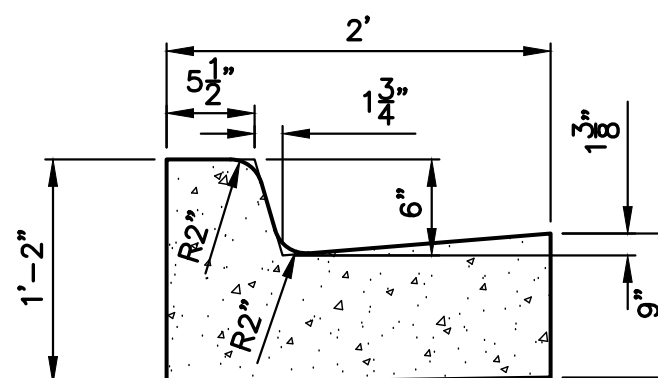
PLAN VIEW



STANDARD MH SECTION

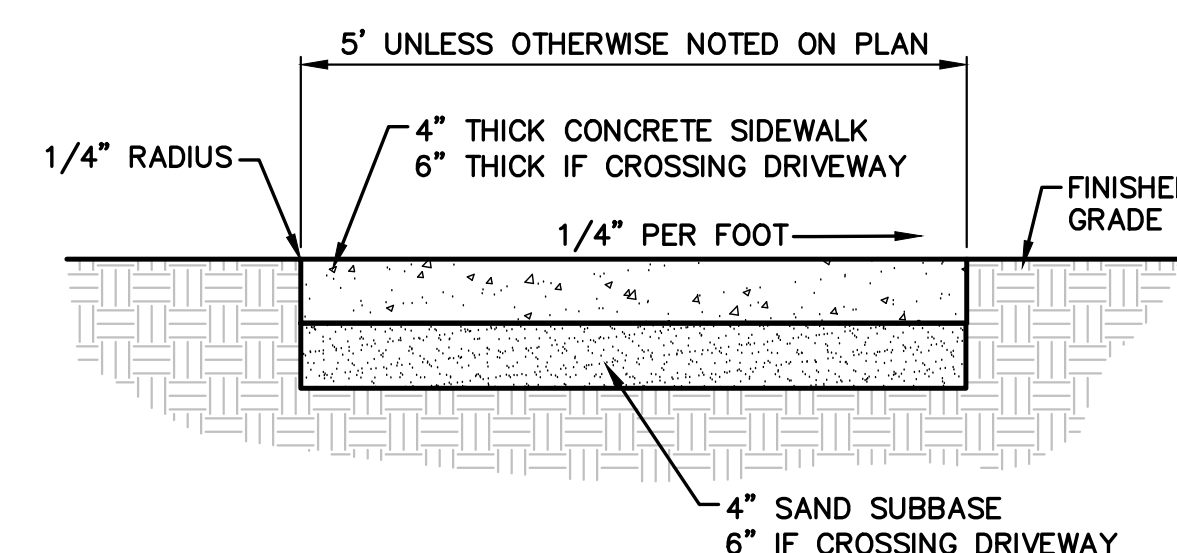


MH OVER EX. SANITARY SEWER



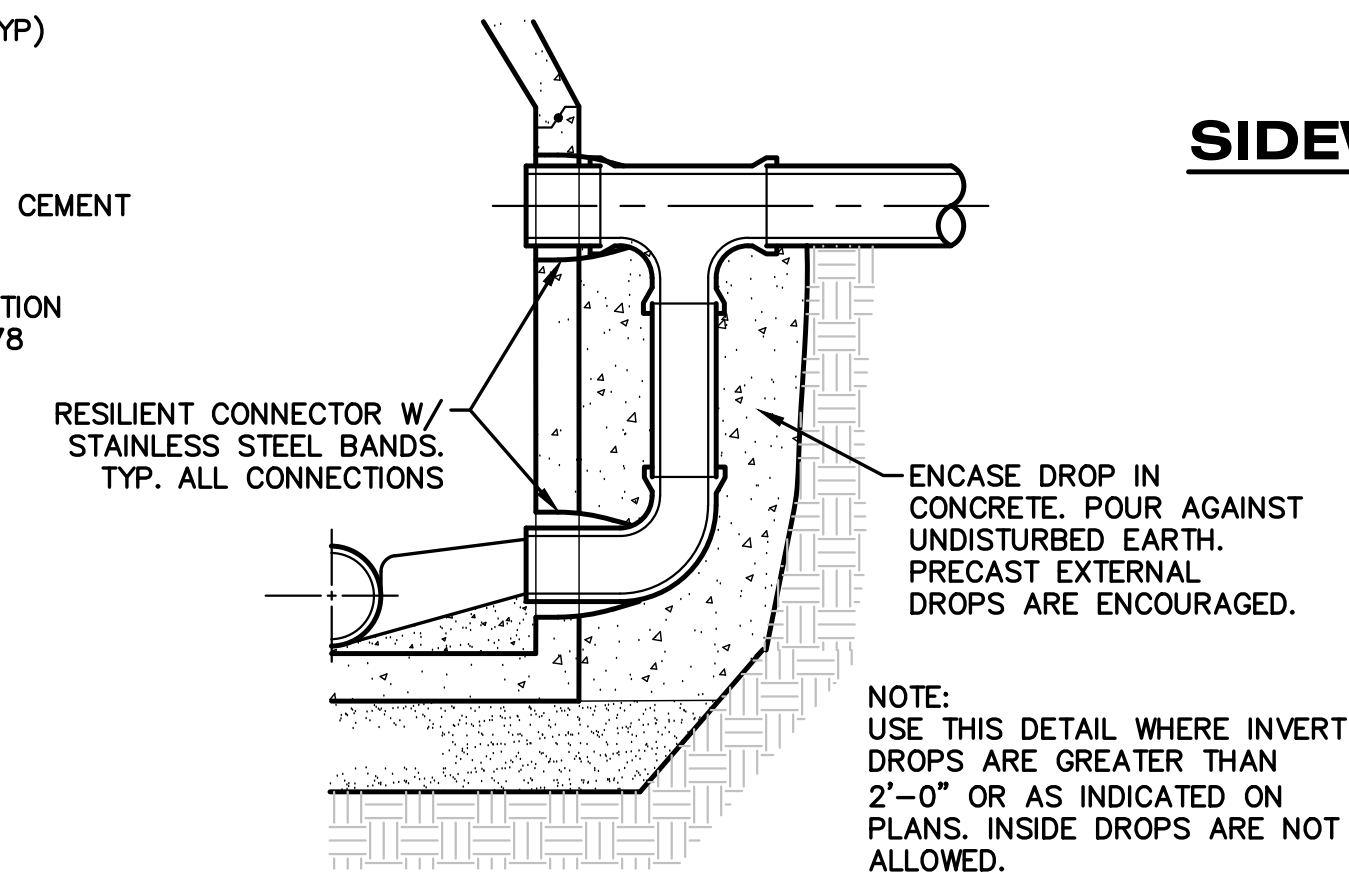
"F4" CURB DETAIL

NOT TO SCALE

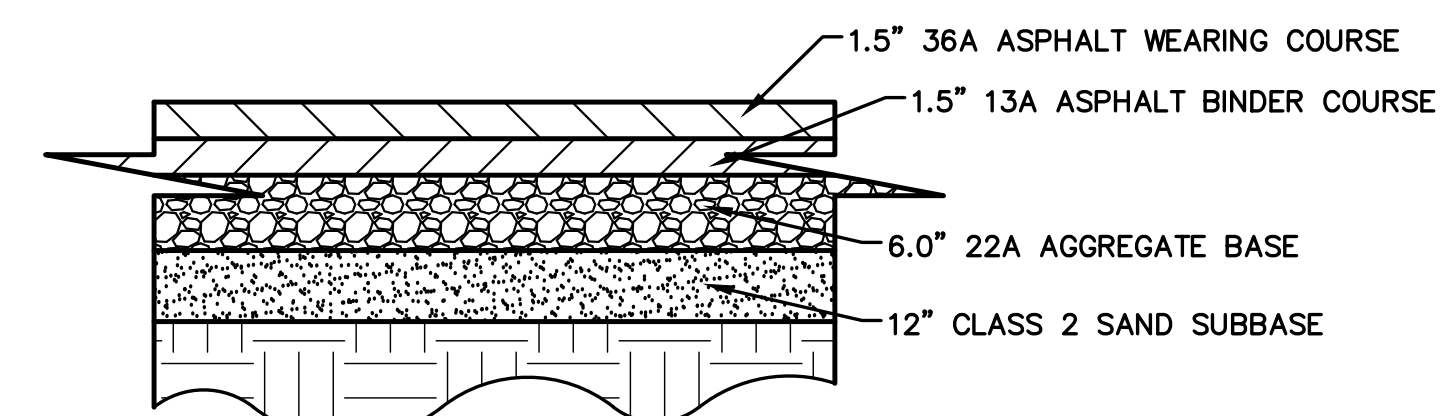


SIDEWALK DETAIL

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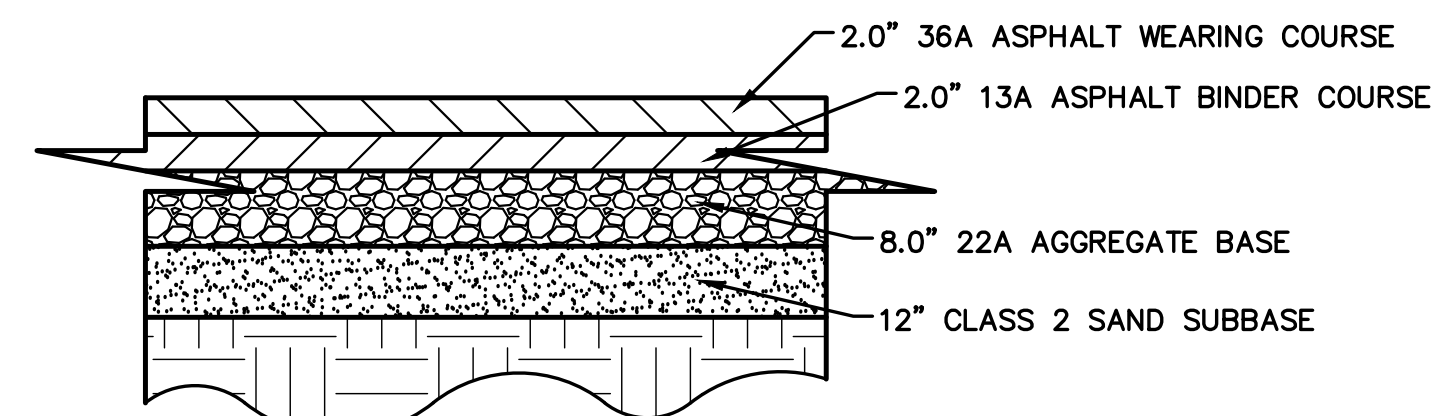


DROP MH SECTION



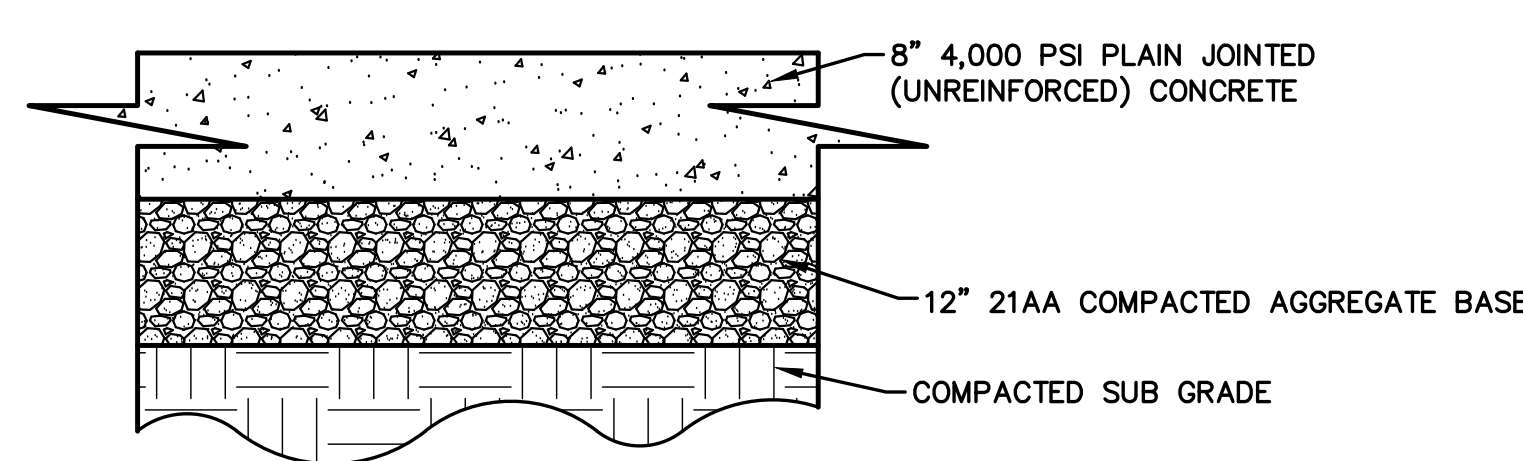
LIGHT DUTY ASPHALT DETAIL

NOT TO SCALE



HEAVY DUTY ASPHALT DETAIL

NOT TO SCALE



HEAVY DUTY CONCRETE DETAIL

NOT TO SCALE

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12/1/25

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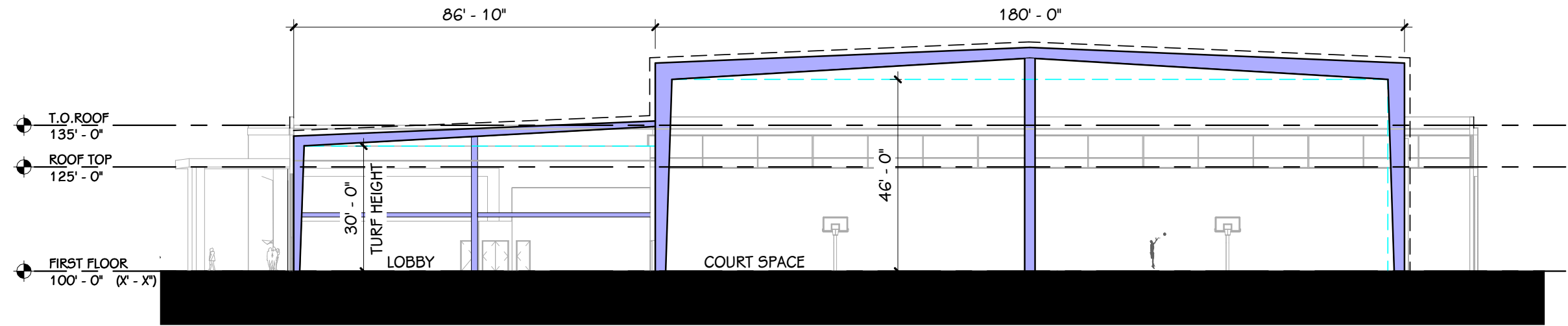
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NFP DETAILS YOUTH AMATEUR SPORTS FACILITY DISCOVER KALAMAZOO

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Project:
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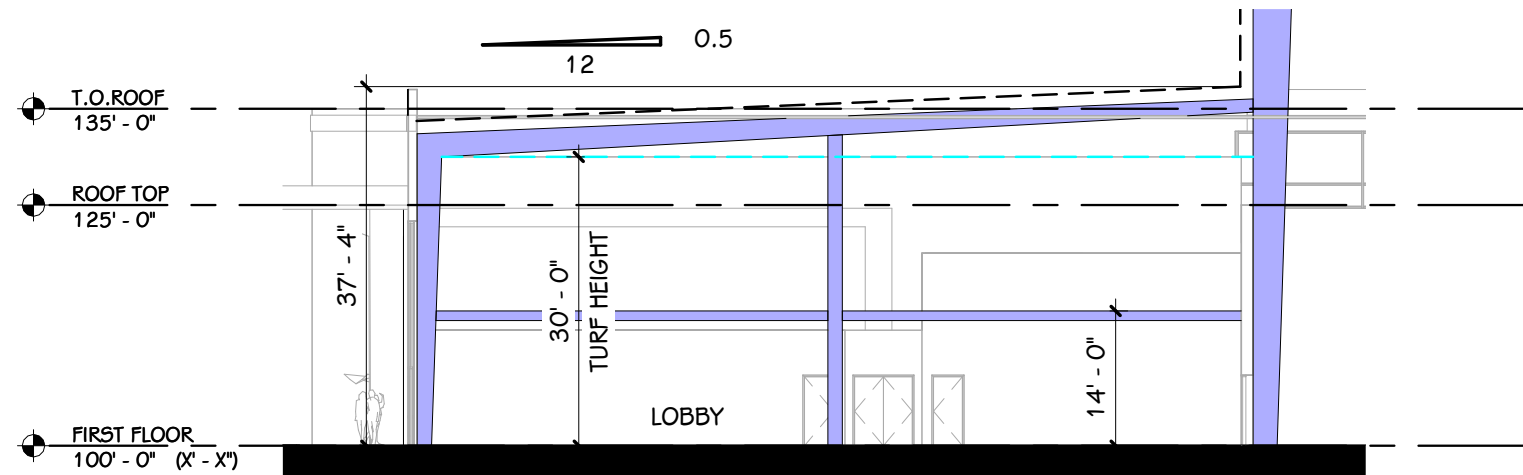
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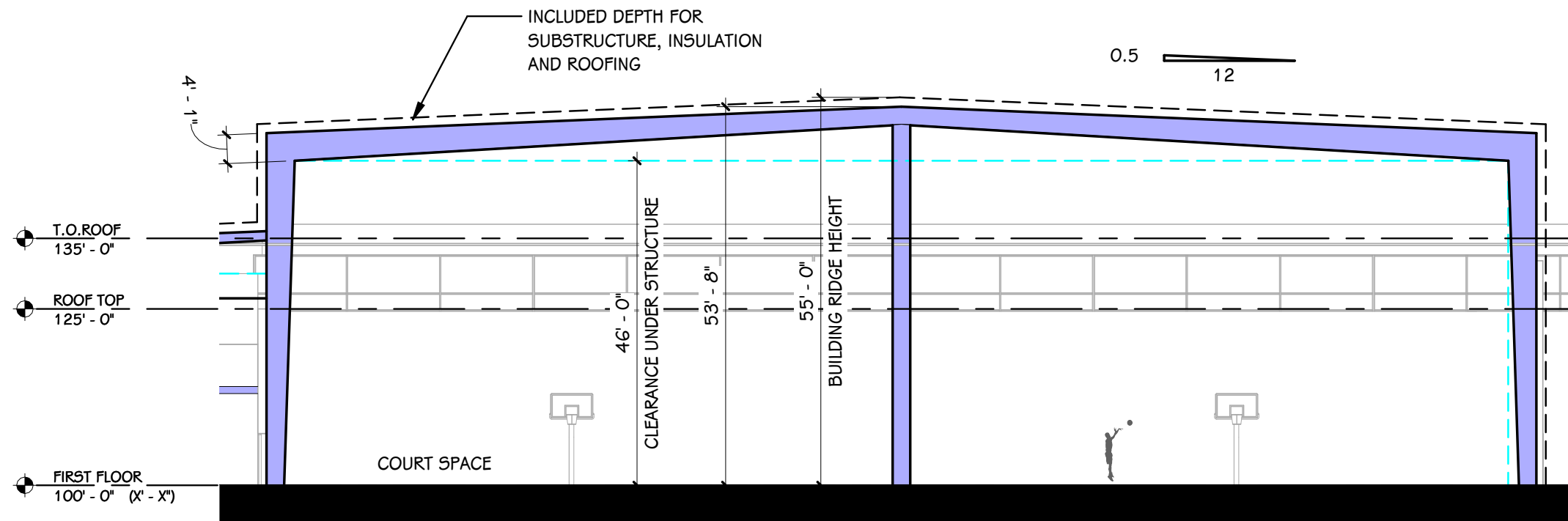
Structure Study - Building

1" = 30'-0"

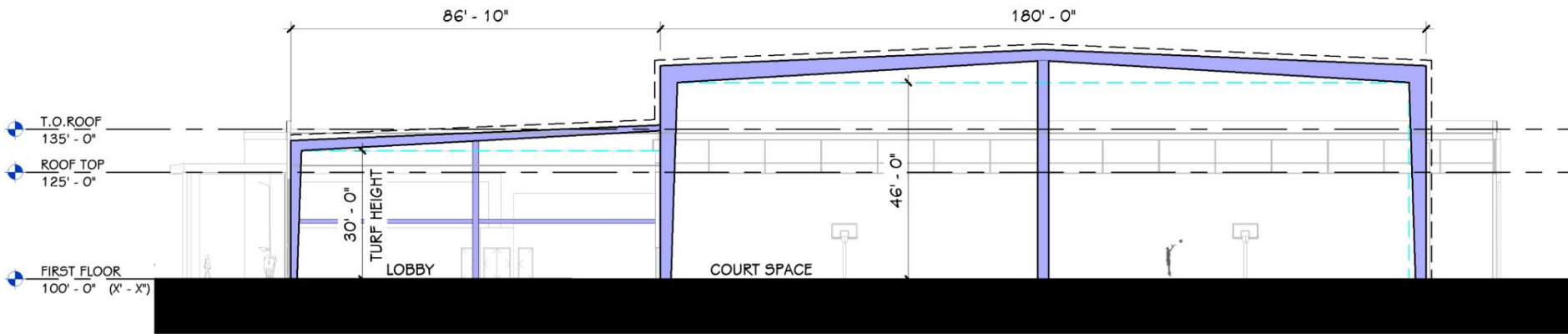


Structure Study - Lobby and Court

1" = 20'-0"

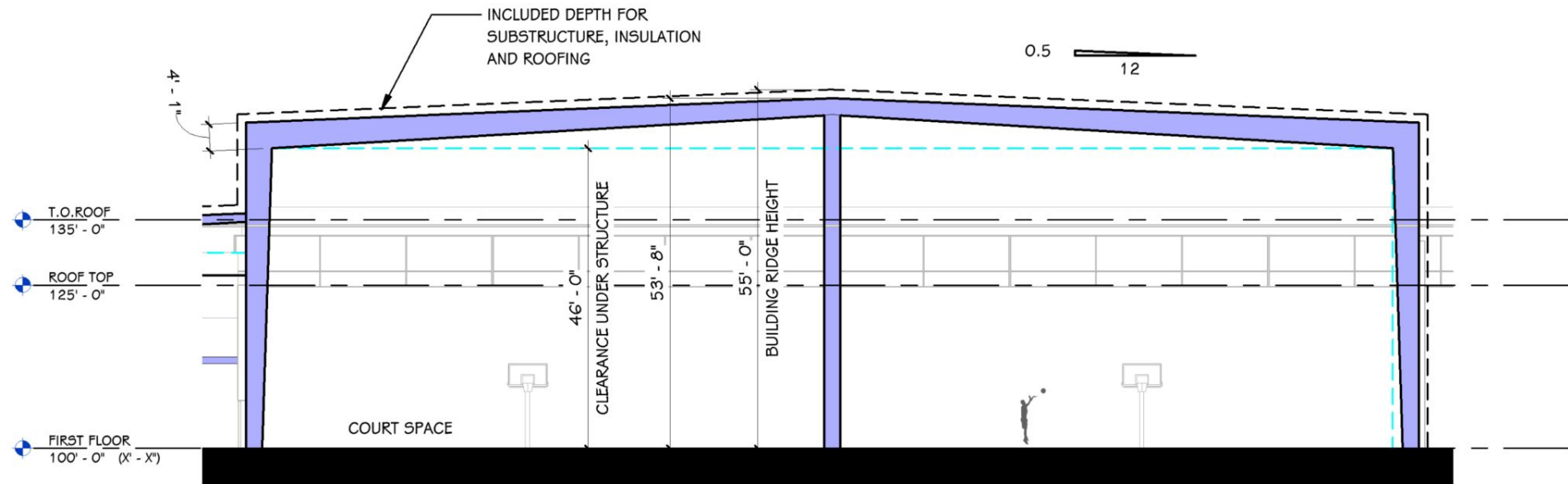


Building Height Updates



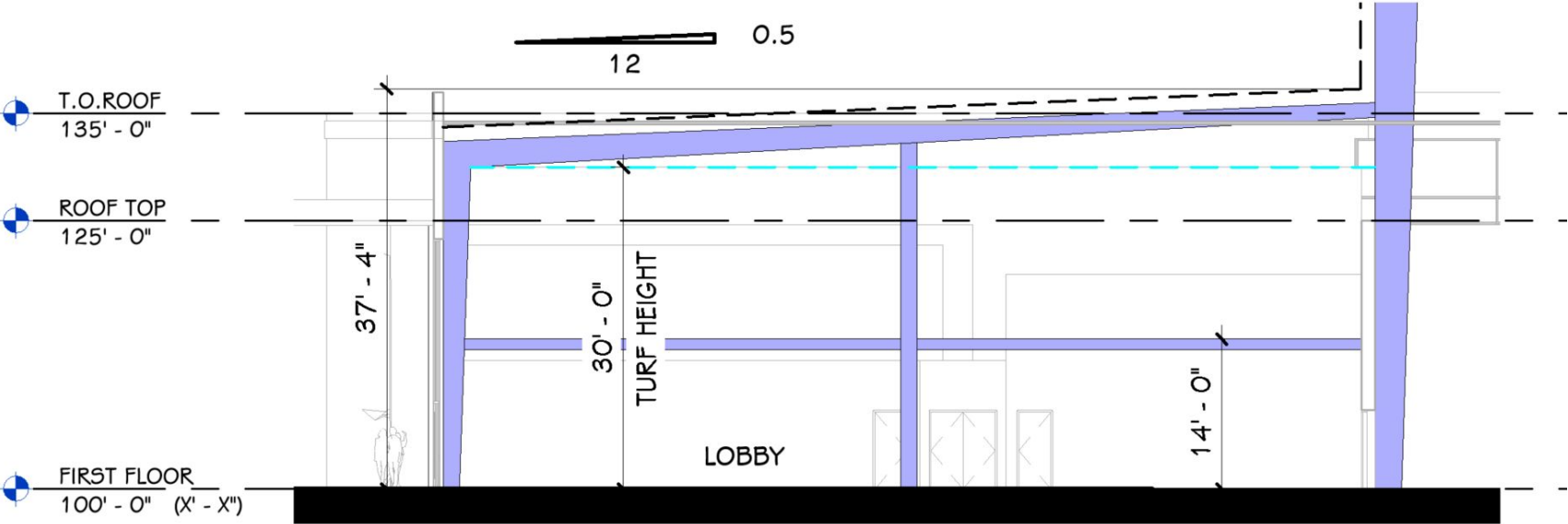
Structural Section Study

Building Height Updates



Structural Section Study

Building Height Updates

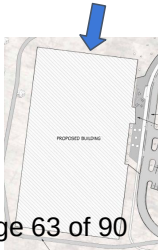


Structural Section Study

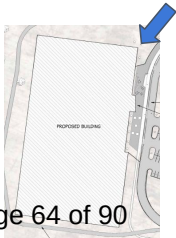
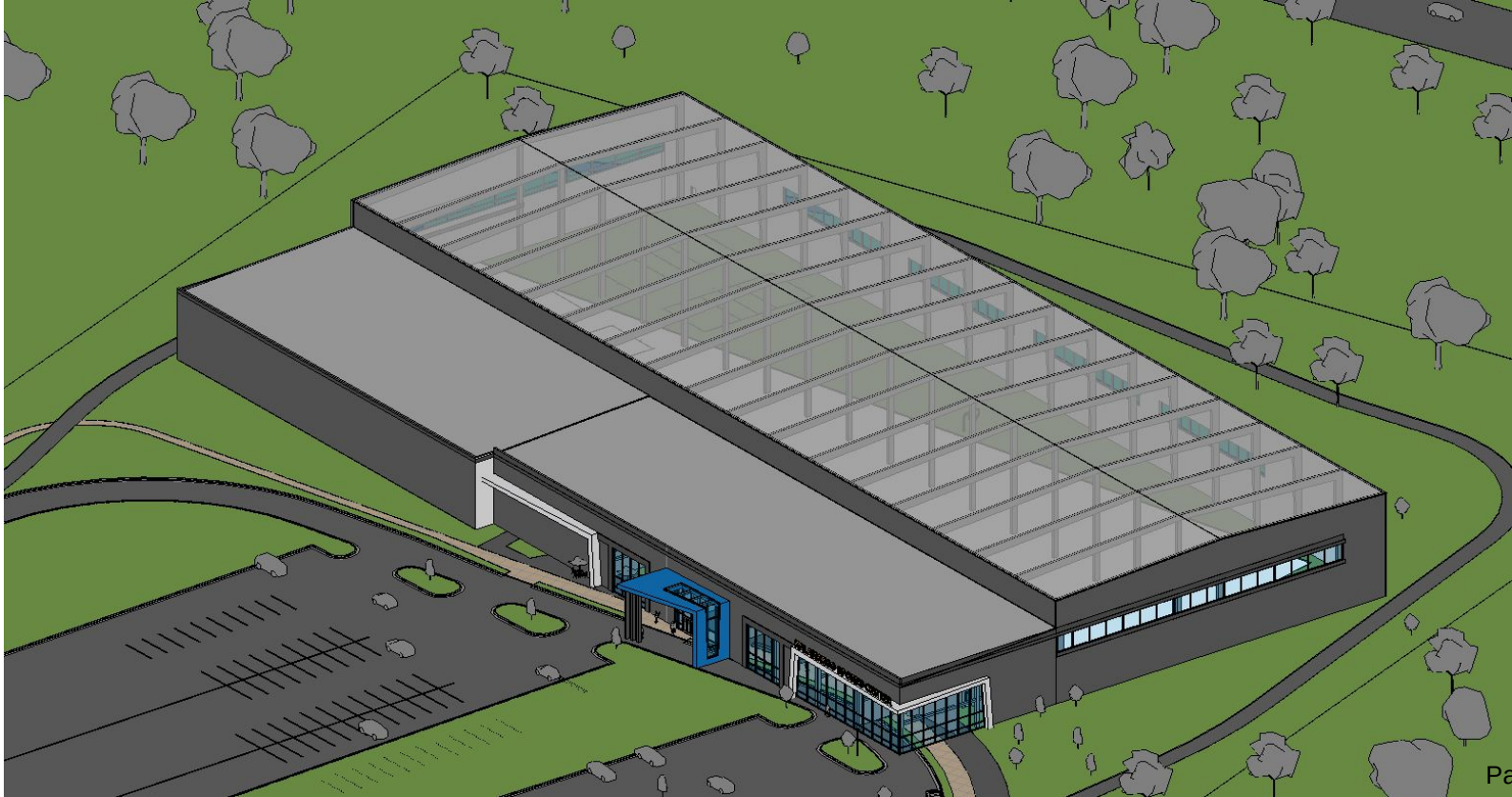
TowerPinkster
East Elevation



North Elevation



3D Massing View



Evergreen North Apartments on Maple Hill Drive



Holiday Inn on Westgate Drive



Holiday Inn Express on Westgate Drive



Summer Ridge Apartments on Maple Hill Drive



The Wyatt Apartments on Croyden Ave.



The Wyatt Apartments on Croyden Ave.





ZONING BOARD OF APPEALS

NATURAL FEATURES PROTECTION REVIEW SHEET

Please Indicate the Nature Features and Requested Variances:

- ☐ Wetlands _____
- ☐ Water Resources _____
- ☐ Protected Trees & Replacements _____
- ☐ Woodlands _____
- ☒ Protected Slopes _____
- ☐ Natural Heritage Areas & Rare Species _____

General Information

Specific Project Details (may also provide on a separate sheet):

The proposed project is a regional youth sports facility operated by a public sports commission linked to Kalamazoo County, the City of Kalamazoo, Oshtemo Township, and Discover Kalamazoo. The new facility is intended to serve the local community and also draw visitors to the area for tournaments. Due to the unique conditions of the site and proposed project, we are requesting an NFP Slopes variance to permit the changing of two steeper slope sections on the site.

Review Criteria for Natural Features Protection Variances

ZBA will review all NFP Variance requests using the following criteria. Please reach out to staff if you have questions.

Are there reasons the parcel cannot be reasonably utilized for its zoned use without the requested relief?

The proposed project is a permitted use that requires a flat floor space and supporting parking spaces. The existing parcel has several areas of grade change that may result from prior efforts to excavate the property for the construction of a cemetery project that started on a nearby parcel several decades ago (Mt. Ever Rest North Cemetery). The parcel may also be altered from adjacent construction of US-131 and nearby utilities in the 1960's. As a result, the proposed project site has some steeper slopes that cannot remain untouched for new development of a youth sports facility, which is a permitted zoning use. The proposed project requires a flat floor space for indoor sports and an associated parking lot.



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Is the extent of relief requested the minimum action needed to permit reasonable utilization of the site?

The project has attempted five different design concepts to accommodate the existing steeper slope areas, but it cannot fit without some level of disturbance. The project is, however, maintaining many of the existing grades by incorporating a mezzanine level in the building and reducing the overall footprint. On-site parking has also been reduced by approximately 30% from original designs to better protect the existing slope conditions.

How can you demonstrate that the relief can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the NFP Overlay District?

The proposed project site is extremely isolated at the western limit of the City of Kalamazoo. To minimize the impact to the public, the new building and storm pond have been designed near their existing grades to reduce topographical changes at the site.

Is the requested relief balanced by the use of conservation and/or green development tools and actions, such as utilizing stormwater best management practices from the Michigan Low Impact Development Manual that promote infiltration, restoration or expansion of a natural feature on the site, or use of wild-type native plants or desired trees as detailed in Table 6.2-5, Replacement Tree List?

The proposed project has incorporated substantial green spaces into the parking lot design to provide more pervious surface. The project team is also open to ideas to better enhance the environmental footprint of the proposed new building and parking lot.



Additional Required Information:

Please attach appropriate documentation of the existing conditions on the site for all natural features where the applicant is seeking a variance from the NFP standards.

☐ **WETLANDS**

- 1) Include a map of existing wetland conditions and boundaries
- 2) Include a plan set showing future development plan overlayed with wetland boundaries and mark areas of potential wetland impacts

Either of these sources are acceptable as a wetlands determination:

- 1) Wetland delineation report performed by a qualified consultant including a map denoting delineated boundary of all wetlands, OR
- 2) Use the most recent US Fish & Wildlife Service's National Wetlands Inventory boundary (State of Michigan mapper: <https://www.michigan.gov/egle/about/organization/water-resources/wetlands/inventory-maps>)

☐ **WATER RESOURCES**

- 1) Include a map of existing water resources on the site (including lakes, rivers, streams, and surface waters not created primarily for stormwater treatment)
- 2) Include a plan set showing future development plan, water resources, and all applicable setbacks required in the NFP ordinance

☐ **PROTECTED TREES & REPLACEMENTS**

- 1) Include a map with existing trees that meet the protection criteria in the NFP ordinance
- 2) Mark on the plan set all protected trees that will remain during and after construction AND those that will be removed
- 3) Include a table listing the protected tree species, size, and condition AND list the replacement tree species that will be planted in place of removed trees after construction

☐ **WOODLANDS**

- 1) Include a map delineating existing woodland areas meeting the definition in the NFP ordinance
- 2) Include a plan set showing future development plan overlayed with woodland boundaries
- 3) Mark on map the square footage or acres of woodland that will be removed/cleared for construction; include a table or note comparing the amount that is permitted for removal in the NFP ordinance to the amount requested in the variance

Either of these sources are acceptable as a woodland delineation and assessment when performed by a qualified consultant:

- 1) Woodland assessment report with determination that the Trees per Area (TPA) meets the NFP definition of a woodland and mapped delineation of woodland
- 2) Woodland assessment report with a determination that Basal Area is equivalent to the TPA in the NFP definition and meets definition of a woodland and mapped delineation of woodland



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3) In addition to determination of whether stand of trees meets NFP definition of a woodland, assessment should include information on general species diversity, composition of species, any notable trees (either notable species or size), invasive species composition, and general health and age observations of tree stand



PROTECTED SLOPES

- 1) Include a map that delineates all existing areas on the parcel that meet the definition of “protected slope” in the NFP ordinance
- 2) Include a plan set showing future development plan overlayed with protected slopes; mark slope setbacks on the plan and areas of potential slope and setback impacts

Either of these sources are acceptable to determine slope protection status:

- 1) A topographic survey performed in the field by a qualified consultant to delineate areas of a slope with grade of 20% or greater
- 2) A desktop analysis performed using U.S. Geological Survey digital topographic maps, LIDAR, digital elevation map, or equivalent data showing 2' intervals or finer resolution, performed by a qualified consultant or engineer



NATURAL HERITAGE AREAS & RARE SPECIES

- 1) Check for any species considered to be rare, threatened or endangered per the State of Michigan, Federal Government or listed on the Michigan Natural Features Inventory (MNFI) Database.



ZONING BOARD OF APPEALS

NATURAL FEATURES PROTECTION REVIEW SHEET

Please Indicate the Nature Features and Requested Variances:

- ☐ Wetlands _____
- ☐ Water Resources _____
- ☐ Protected Trees & Replacements _____
- ☒ Woodlands _____
- ☐ Protected Slopes _____
- ☐ Natural Heritage Areas & Rare Species _____

General Information

Specific Project Details (may also provide on a separate sheet):

The proposed project is a regional youth sports facility operated by a public sports commission linked to Kalamazoo County, the City of Kalamazoo, Oshtemo Township, and Discover Kalamazoo. The new facility is intended to serve the local community and also draw visitors to the area for tournaments. Due to the unique conditions of the site and proposed project, we are requesting an NFP Woodlands variance to permit 86.5% of the existing trees to be cleared from the site.

Review Criteria for Natural Features Protection Variances

ZBA will review all NFP Variance requests using the following criteria. Please reach out to staff if you have questions.

Are there reasons the parcel cannot be reasonably utilized for its zoned use without the requested relief?

The proposed project is a permitted use that requires a flat floor space and supporting parking spaces. Since the project is located at the extreme western limit of the City of Kalamazoo, there are no shared parking opportunities. In addition, the surrounding street network is in Oshtemo Township and operated by the Road Commission of Kalamazoo County, which does not permit on-street parking. As such, all parking needs must be met on site, which requires a partial clearance of trees.



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Is the extent of relief requested the minimum action needed to permit reasonable utilization of the site?

The project has already reduced the parking lot by approximately 30% to better fit the objectives of the City's NFP zoning ordinance. Due to the conditions noted above, the parking lot and building footprint cannot be further reduced without compromising the viability of the facility, which is a permitted zoning use.

How can you demonstrate that the relief can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the NFP Overlay District?

The project's site design has studied the existing tree coverage extensively and determined with outside support that an area of older trees can be protected at the northeast section of the parcel. This area will be preserved along with a section of existing trees near the southwest section of the parcel. New trees will also be planted to reduce the impact to the public.

Is the requested relief balanced by the use of conservation and/or green development tools and actions, such as utilizing stormwater best management practices from the Michigan Low Impact Development Manual that promote infiltration, restoration or expansion of a natural feature on the site, or use of wild-type native plants or desired trees as detailed in Table 6.2-5, Replacement Tree List?

The project has been redesigned to accommodate all stormwater needs on site and at the lowest existing elevation on the parcel to minimize soil movements to and from the site. There are no existing wetlands on the site.



Additional Required Information:

Please attach appropriate documentation of the existing conditions on the site for all natural features where the applicant is seeking a variance from the NFP standards.

☐ **WETLANDS**

- 1) Include a map of existing wetland conditions and boundaries
- 2) Include a plan set showing future development plan overlayed with wetland boundaries and mark areas of potential wetland impacts

Either of these sources are acceptable as a wetlands determination:

- 1) Wetland delineation report performed by a qualified consultant including a map denoting delineated boundary of all wetlands, OR
- 2) Use the most recent US Fish & Wildlife Service's National Wetlands Inventory boundary (State of Michigan mapper: <https://www.michigan.gov/egle/about/organization/water-resources/wetlands/inventory-maps>)

☐ **WATER RESOURCES**

- 1) Include a map of existing water resources on the site (including lakes, rivers, streams, and surface waters not created primarily for stormwater treatment)
- 2) Include a plan set showing future development plan, water resources, and all applicable setbacks required in the NFP ordinance

☐ **PROTECTED TREES & REPLACEMENTS**

- 1) Include a map with existing trees that meet the protection criteria in the NFP ordinance
- 2) Mark on the plan set all protected trees that will remain during and after construction AND those that will be removed
- 3) Include a table listing the protected tree species, size, and condition AND list the replacement tree species that will be planted in place of removed trees after construction

☒ **WOODLANDS**

- 1) Include a map delineating existing woodland areas meeting the definition in the NFP ordinance
- 2) Include a plan set showing future development plan overlayed with woodland boundaries
- 3) Mark on map the square footage or acres of woodland that will be removed/cleared for construction; include a table or note comparing the amount that is permitted for removal in the NFP ordinance to the amount requested in the variance

Either of these sources are acceptable as a woodland delineation and assessment when performed by a qualified consultant:

- 1) Woodland assessment report with determination that the Trees per Area (TPA) meets the NFP definition of a woodland and mapped delineation of woodland
- 2) Woodland assessment report with a determination that Basal Area is equivalent to the TPA in the NFP definition and meets definition of a woodland and mapped delineation of woodland



3) In addition to determination of whether stand of trees meets NFP definition of a woodland, assessment should include information on general species diversity, composition of species, any notable trees (either notable species or size), invasive species composition, and general health and age observations of tree stand

☐ **PROTECTED SLOPES**

- 1) Include a map that delineates all existing areas on the parcel that meet the definition of “protected slope” in the NFP ordinance
- 2) Include a plan set showing future development plan overlayed with protected slopes; mark slope setbacks on the plan and areas of potential slope and setback impacts

Either of these sources are acceptable to determine slope protection status:

- 1) A topographic survey performed in the field by a qualified consultant to delineate areas of a slope with grade of 20% or greater
- 2) A desktop analysis performed using U.S. Geological Survey digital topographic maps, LIDAR, digital elevation map, or equivalent data showing 2' intervals or finer resolution, performed by a qualified consultant or engineer

☐ **NATURAL HERITAGE AREAS & RARE SPECIES**

- 1) Check for any species considered to be rare, threatened or endangered per the State of Michigan, Federal Government or listed on the Michigan Natural Features Inventory (MNFI) Database.
- 2) Check for any remnant of a Natural Community listed on the MNFI Michigan's Natural Communities List.



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December 17th, 2025

Mr. Brian Persky (Discover Kalamazoo)
240 W. Michigan Avenue
Kalamazoo MI 49007

RE: Westgate Sports Complex
1617 North Drake Road
05-12-413-001

Dear Mr. Persky:

At the Special meeting of the Natural Features Protection (NFP) Review Board on Tuesday, December 16th, 2025, a quorum of the NFP Board heard a presentation on the NFP variance requests related to the Westgate Sports Complex Project. The request of NFP Board Members by the applicant was the NFP Variances be recommended for approval by the NFP Board to the Zoning Board of Appeals. The presentation outlined the project scope and existing natural features and impacts of the variance requests as well as details of the project.

The requested recommended variances were:

- A Recommendation to the Zoning Board of Appeals to grant a variance from the Protected Slopes and Slope Setback NFP Standards within the project limits.
- A Recommendation to the Zoning Board of Appeals to grant a variance from the Woodland Standard to preserve 13.5% of the existing woodland when 25% is the minimum required by right.

Staff were supportive of these requests. After hearing the presentation, the NFP Board had clarifying questions regarding the project as well as concerns with impacts to existing delineated woodlands and the deviation from the 25% Woodland Preservation requirement.

This letter confirms that the variances were recommended with a condition to the Zoning Board of Appeals with 3 yes votes and 1 no vote. The NFP Bylaws state that *a majority of the members of the Board shall constitute a quorum for the transaction of business. The vote of the majority of members present at a meeting at which a quorum is present constitutes the action of the Board, unless the vote of a larger number is required by statutes, ordinance, or elsewhere in these Bylaws [NFP Bylaws, Section 6: Quorum and Voting].*

Four of the Seven NFP Board Members were present for the meeting constituting a majority of the members creating quorum. The final vote of 3 yesses to 1 no represents the vote of the majority of members present at the meeting at which a quorum is present, constituting the action of the Board.

The variances and condition that were recommended by the NFP Board to the Zoning Board of Appeals are:

- A Recommendation to the Zoning Board of Appeals to grant a variance from the Protected Slopes and Slope Setback NFP Standards within the project limits.
- A Recommendation to the Zoning Board of Appeals to grant a variance from the Woodland Standard to preserve 13.5% of the existing woodland when 25% is the minimum required by right **conditioned upon as much of the remaining green space or undeveloped area as possible to be replanted using native species with a preference for dense replanting of native tree species.**

Please note that this project will require Site Plan Review (SPR) approval before the issuance of permits. As part of that approval, the project will need to submit a Supplemental NFP Application for SPR and appear before the Board. Please note that this recommendation will be forwarded to the Zoning Board of Appeals who will make a final decision on the variance request.

If you have any questions, please contact me in the Community Planning and Economic Development Department at (269) 337-8045.

Sincerely,

NFP REVIEW BOARD

Nolan Bergstrom
NFP Review Board Liaison

C: Ms. Emily Szymanski (Site Plan Committee Manager)
Mr. Bobby Durkee, Assistant City Planner
Mr. Peter Eldridge, Zoning Administrator (ZBA Liaison)
Ms. Jamie McCarthy (Development Manager)
Mr. Jared Chambers (Development Administrator)



ZONING BOARD OF APPEALS

DIMENSIONAL VARIANCE REVIEW SHEET

General Information

Specific Project Details (may also provide on a separate sheet):

The proposed project is a regional youth sports facility operated by a public sports commission linked to Kalamazoo County, the City of Kalamazoo, Oshtemo Township, and Discover Kalamazoo. The new facility is intended to serve the local community and also draw visitors to the area for tournaments. Due to the unique conditions of the site and proposed project, we are requesting a height variance for the new building. The proposed max building height is 56 feet.

Review Criteria for Dimensional Variances

ZBA will review all Dimensional Variance requests using the following criteria. Please reach out to staff if you have questions.

Are there conditions, like unusual topography, the shape of the lot or structure that are not commonly found on other lots or structures in the same zone district that make this request unique?

The proposed area for the new building sits approximately 30 feet lower in elevation than the remainder of the site, making the building appear shorter than surrounding buildings. The site is also isolated at the extreme western edge of the Kalamazoo city limits along US-131.

Are there special circumstances which are not the result of the actions of the applicant or property owner of the land that impact the project?

As noted previously, the site is isolated and at a lower elevation than surrounding areas.

Does the Ordinance deprive the applicant of rights enjoyed by other property owners in the same zone district?

No, the site is isolated and many of the surrounding uses are either vacant, agricultural, or occupied by multi-story buildings up to six stories in height.

Is this the minimum action which will make it possible to use the lot or structure in a manner that does not negatively impact the public and meets the spirit of this Ordinance?

Yes, the proposed use is permitted by the zoning, but indoor youth sports require a minimum interior ceiling height to be functional, which only this variance can resolve. With the lower elevation of the proposed new building, the impact of the additional height will be mitigated.

Will the granting of the variance negatively affect adjacent land?

No, the surrounding land uses are either vacant, agricultural, or occupied by multi-story buildings up to six stories in height.

Will the granting of the variance be generally consistent with the purpose and intent of this Ordinance?

Yes, the ordinance anticipates and permits sports facilities, but the additional interior height will ensure functionality of the use based on industry standards.

Additional Criteria for Variance Requests for Required Landscaping

Does existing landscaping, screening or wetlands planned to be preserved meet the intent of the Ordinance?

The proposed landscaping for the project is intended to meet the ordinance. There are no wetlands on the parcel. There will be a separate review for NFP Woodlands and Slopes related to this project.

Does the landscaping proposed by the applicant meet the intent of this section?

Yes, the new project landscaping will meet or exceed the ordinance landscaping standards.



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Are there steep changes in topography that would limit the benefits of landscaping?

There are changes in topography on the site, but new landscaping will be installed as required by the ordinance.

Are the proposed building and parking lot locations setback beyond the required setback?

The proposed new building will have setbacks that generally exceed the required standards.

Are there abutting lands developed or could be developed in the near future with a use other than residential?

The adjacent land is primarily vacant, but commercial zoning is present to the south in Oshtemo Township.

Do similar landscaping conditions exist which would result in no added benefit if additional landscaping or screening was provided?

The proposed project will preserve several sections of existing trees in addition to the new landscaping.



ZONING BOARD OF APPEALS

DIMENSIONAL VARIANCE REVIEW SHEET

General Information

Specific Project Details (may also provide on a separate sheet):

The proposed project is a regional youth sports facility operated by a public sports commission linked to Kalamazoo County, the City of Kalamazoo, Oshtemo Township, and Discover Kalamazoo. The new facility is intended to serve the local community and also draw visitors to the area for tournaments. Due to the unique conditions of the site and proposed project, we are requesting a lot coverage variance. The proposed maximum lot coverage is 56%.

Review Criteria for Dimensional Variances

ZBA will review all Dimensional Variance requests using the following criteria. Please reach out to staff if you have questions.

Are there conditions, like unusual topography, the shape of the lot or structure that are not commonly found on other lots or structures in the same zone district that make this request unique?

The proposed area for the new building is isolated at the western edge of the City of Kalamazoo. Streets supporting the project will run through Oshtemo Township, which does not permit on-street parking per their agreement with the Road Commission of Kalamazoo County.

Are there special circumstances which are not the result of the actions of the applicant or property owner of the land that impact the project?

Due to the project site's isolation from shared parking opportunities and inability to utilize on-street parking, the project must accommodate all parking needs on its parcel, which pushes the lot coverage requirements of the design. In addition, the new building will require a service drive that wraps the perimeter for fire safety. While important for fire safety, this new drive does increase the lot coverage percentage.

Does the Ordinance deprive the applicant of rights enjoyed by other property owners in the same zone district?

The surrounding area is primarily in Oshtemo Township due to the isolation of the site inside of the City limits. Other applicants in the area have similar coverage ratios due to their need to accommodate for parking without on-street parking.

Is this the minimum action which will make it possible to use the lot or structure in a manner that does not negatively impact the public and meets the spirit of this Ordinance?

Yes, the isolation of the site and lack of street parking make the proposed (and zoning-permitted) use impractical without additional lot coverage capabilities to accommodate for the building and parking.

Will the granting of the variance negatively affect adjacent land?

No, the surrounding developed parcels have similar configurations and coverage ratios due to their parking needs.

Will the granting of the variance be generally consistent with the purpose and intent of this Ordinance?

Yes, the isolation of this site is unique in the typically urban City of Kalamazoo. To build a zoning-permitted sports facility, however, the on-site parking and building footprint must meet industry standards. If the site was near shared or street parking, the lot coverage variance would likely not be needed.

Additional Criteria for Variance Requests for Required Landscaping

Does existing landscaping, screening or wetlands planned to be preserved meet the intent of the Ordinance?

Areas of the site will be preserved with existing trees to help mitigate the impact of greater lot coverage.

Does the landscaping proposed by the applicant meet the intent of this section?

Yes, the new project landscaping will meet or exceed the ordinance landscaping standards.

Are there steep changes in topography that would limit the benefits of landscaping?

There are changes in topography on the site, but new landscaping will be installed as required by the ordinance.

Are the proposed building and parking lot locations setback beyond the required setback?

The proposed new building will have setbacks that generally exceed the required standards.

Are there abutting lands developed or could be developed in the near future with a use other than residential?

The adjacent land is primarily vacant, but commercial zoning is present to the south in Oshtemo Township.

Do similar landscaping conditions exist which would result in no added benefit if additional landscaping or screening was provided?

The proposed project will preserve several sections of existing trees in addition to the new landscaping.



ZONING BOARD OF APPEALS

DIMENSIONAL VARIANCE REVIEW SHEET

General Information

Specific Project Details (may also provide on a separate sheet):

The proposed project is a regional youth sports facility operated by a public sports commission linked to Kalamazoo County, the City of Kalamazoo, Oshtemo Township, and Discover Kalamazoo. The new facility is intended to serve the local community and also draw visitors to the area for tournaments. Due to the unique conditions of the site and proposed project, we are requesting a bike parking space variance. The proposed number of bike parking spaces is 20.

Review Criteria for Dimensional Variances

ZBA will review all Dimensional Variance requests using the following criteria. Please reach out to staff if you have questions.

Are there conditions, like unusual topography, the shape of the lot or structure that are not commonly found on other lots or structures in the same zone district that make this request unique?

The proposed area for the new building is isolated at the western edge of the City of Kalamazoo and surrounded by Oshtemo Township. The area does not have supporting bike infrastructure to provide safe travel to the general area, but the project is still providing 20 bike parking spaces near the front entrance to the building to accommodate those who do choose to travel by bike.

Are there special circumstances which are not the result of the actions of the applicant or property owner of the land that impact the project?

The proposed project site is isolated from surrounding bike infrastructure and immediately adjacent to US-131. Most of the access streets are managed by the Road Commission of Kalamazoo County and do not have bike lanes or off-street bike trails.

Does the Ordinance deprive the applicant of rights enjoyed by other property owners in the same zone district?

The ordinance proposes the installation of over 170 bike parking spaces, which is extremely high compared to bike parking capacity for surrounding uses. Most nearby buildings have 5 or less dedicated bike parking spaces.



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Is this the minimum action which will make it possible to use the lot or structure in a manner that does not negatively impact the public and meets the spirit of this Ordinance?

The proposed bike parking spaces in the ordinance will be unnecessary based on surrounding uses and industry standards for this type of use.

Will the granting of the variance negatively affect adjacent land?

No, the surrounding developed parcels have similar bike parking accommodations to those proposed by this project.

Will the granting of the variance be generally consistent with the purpose and intent of this Ordinance?

Yes, the proposed request provides an ample number of bike parking spaces for the proposed use and area. Bike parking needs will not spill into other areas or be unmet at the project site.

Additional Criteria for Variance Requests for Required Landscaping

Does existing landscaping, screening or wetlands planned to be preserved meet the intent of the Ordinance?

Areas of the site will be preserved with existing trees to help mitigate the impact of greater lot coverage.

Does the landscaping proposed by the applicant meet the intent of this section?

Yes, the new project landscaping will meet or exceed the ordinance landscaping standards.



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Are there steep changes in topography that would limit the benefits of landscaping?

There are changes in topography on the site, but new landscaping will be installed as required by the ordinance.

Are the proposed building and parking lot locations setback beyond the required setback?

The proposed new building will have setbacks that generally exceed the required standards.

Are there abutting lands developed or could be developed in the near future with a use other than residential?

The adjacent land is primarily vacant, but commercial zoning is present to the south in Oshtemo Township.

Do similar landscaping conditions exist which would result in no added benefit if additional landscaping or screening was provided?

The proposed project will preserve several sections of existing trees in addition to the new landscaping.

