

Agenda

Planning Commission

City of Kalamazoo



Thursday, May 7, 2026

7:00 PM

City Commission Chambers – 241 West South Street

A. CALL TO ORDER/ROLL CALL

B. ADOPTION OF FORMAL AGENDA

C. APPROVAL OF MINUTES

1. Approval of Minutes from the Planning Commission meeting held on April 8, 2026

D. COMMUNICATIONS AND ANNOUNCEMENTS

E. PUBLIC HEARINGS

1. P.C. # 2026.04 — Special Use Permit request to redevelop the property with a new gas station and convenience store at 4710 Stadium Drive.

F. DISCUSSION/ACTION ITEMS

G. REPORTS

1. City Planner's Report
2. Planning Commission Database Project
3. 2026 Site Plan List

H. PUBLIC COMMENTS

I. CITY COMMISSION LIAISON COMMENTS

J. PLANNING COMMISSIONER COMMENTS

K. ADJOURNMENT

City of Kalamazoo
PLANNING COMMISSION
Meeting Minutes
April 8, 2026
DRAFT

Members Present: Michelle Audette-Bauman; Thomas Kostrzewa; Zack Wilson; Drew Duncan; Roland Bissonnette; Diego Sandoval; Mitchell Curtiss; Sakhi Vyas

Members Excused: Wendell Tolber

City Staff: Bobby Durkee, Assistant City Planner; Beth Cheeseman, Executive Administrative Assistant; Charlie Bear, Assistant City Attorney

A. CALL TO ORDER/ROLL CALL

Commissioner Curtiss called the meeting to order at 7:00 p.m.

Planner Durkee proceeded with roll call and determined there was a quorum.

Commissioner Curtiss congratulated and welcomed the new Planning Commissioners.

B. ADOPTION OF FORMAL AGENDA

A motion was not taken.

C. APPROVAL OF MINUTES

Commissioner Kostrzewa, seconded by Commissioner Bissonnette, moved approval of the March 25, 2026 minutes as presented. With a voice vote, the motion carried unanimously.

D. COMMUNICATIONS AND ANNOUNCEMENTS

1. Election of Officers: Chair, Vice Chair, Secretary

Planner Durkee reviewed the role of each office.

Chair

Commissioner Kostrzewa, seconded by Commissioner Wilson, nominated Commissioner Curtiss for Chair.

There was discussion about voting for an entire panel of officers or voting for them one at a time. It was decided to vote for each office individually.

A voice vote was taken, and the nomination passed unanimously.

Vice Chair

Commissioner Bissonnette nominated himself for Vice Chair; seconded by Commissioner Audette-Bauman.

A voice vote was taken and the nomination passed unanimously.

Secretary

Commissioner Bissonnette, seconded by Commissioner Vyas, nominated Commissioner Audette-Bauman for Secretary.

A voice vote was taken, and the nomination passed unanimously.

Planner Durkee announced that he and Planner Anderson were attending the National Planning Conference in Detroit.

E. PUBLIC HEARINGS

1. A Special Use Permit request to operate transitional residences at the dwellings in the duplex at 915 Washington Avenue.

Planner Durkee shared that the applicant was Ms. Gwendolyn Hooker, HOPE Thru Navigation. He reported that 915 Washington has a valid rental certificate. The request is for each unit in the duplex to be used as a transitional residence. HOPE Thru Navigation hopes to get houseless individuals into housing quickly in the coldest weather. They want to have homelike dwelling units for people in need. Planner Durkee stated that this use closely aligns with the definition of a transitional residence in the zoning code.

Planner Durkee showed pictures and zoning/land use maps of the area.

Planner Durkee read the decision criteria. He noted the following items.

1. The proposed location has a mix of uses and varied residential housing types.
2. There are no use standards for a transitional residence.
3. The property has established landscaping, fencing, and improvements which minimizes adverse effects on the surrounding properties.
4. This property will have no environmental impacts outside of being a residential home.
5. With sidewalks, on-street parking, and a speed hump, the road will have adequate capacity to handle the transitional housing use.
6. There is a driveway, a sidewalk network, and parking spot which ensures safe ingress and egress for traffic and pedestrians.
7. There is adequate water, wastewater, solid waste, park, police, fire/EMS facilities to serve this special use.
8. Fire, Police, and EMS services will have adequate access to the property for emergencies.
9. There are no development standards for this use.
10. This use complies with all standards imposed by all other practical provisions of this Ordinance.

Planner Durkee stated that staff recommend approval of the Special Use Permit (SUP) at 915 Washington Avenue.

Ms. Gwendolyn Hooker shared that the Kalamazoo County Commission requested for them to establish shelters for families in inclement weather. She requested this permit in January, which was one of the roughest winters recently. Ms. Hooker indicated she has a staff to operate the residences daily. She gave an example of a success story from the home and read the resident's statement. The resident and her two children were able to move to the home, find a job, and look for long-term housing. The resident was thankful that the program provided hygiene products, meals, help with laundry, and help with rides to appointments. Ms. Hooker said the resident was able to get a housing choice voucher, obtain a job at Ministry with Community, and transition to temporary housing. This resident was a motivated single Mom checking all the boxes to get to her next stage.

Commissioner Kostrzewa asked what short-term means in this context and if there was an enforceable time limit. Planner Durkee clarified that short-term housing is 30 days or less. He said that transitional housing anticipates people in need of interim housing arrangements and would allow any amount of time for the transition. Ms. Hooker said they operate a re-entry transitional home. People currently there can stay for up to 12 months then additional time is decided on an individual basis. The whole goal is to transition families into permanent housing. She emphasized that it was important to differentiate that this is not a shelter. Commissioner Kostrzewa and Ms. Hooker agreed that it was plausible that families could stay in the houses for years.

Commissioner Curtiss asked if there were any responses from neighbors or local community members. Planner Durkee said he received one call from a nearby property who was opposed to both Washington Avenue SUP requests. He reported that outreach was not required, but the applicant door knocked and reached out to the Neighborhood Association.

Commissioner Wilson asked if the home was to be used throughout the year or just in the winter. Ms. Hooker explained about their original plans for the units and how that changed. She said the homes will be used year-round, but they originally started transitional residences in winter.

Commissioner Curtiss opened the public hearing.

There were no in-person or call-in comments.

Commissioner Bissonnette, seconded by Commissioner Wilson, moved to approve a Special Use Permit request to operate transitional residences at the dwellings in the duplex at 915 Washington Avenue.

Commissioner Bissonnette thought the project was important and valuable. He thanked the applicant and stated his approval of the SUP.

Commissioner Duncan encouraged neighbors of the property to find a way to support Ms. Hooker's work.

A roll call vote was taken, and the motion passed unanimously.

2. A Special Use Permit request to operate a transitional residence in the dwelling at 921 Washington Avenue.

Commissioner Curtiss suggested Planner Durkee highlight any differences between the request at 915 Washington Avenue and this request at 921 Washington Avenue.

Planner Durkee stated that this residence is a single-family dwelling next door to 915 Washington Avenue. He reviewed zoning maps, land use, and pictures of the property. Planner Durkee said this property also has a valid rental certification.

Planner Durkee stated that the decision criteria findings were very similar to 915 Washington. He noted the following things.

- The house is located centrally on the lot and there is no garage on this property.
- There are two curb cuts.
- There is plenty of road capacity along Race and Washington with sidewalks, and curb and gutter on those streets.
- There are two driveway access points with a paved and gravel driveway.
- There are on-street parking spaces
- Reed Street Park is nearby.
- There is a new fire hydrant in front of the house.

Planner Durkee reported that staff recommend approval for the special use of the dwelling at 921 Washington Avenue.

Ms. Gwendolyn Hooker shared the experience of a family who came to them in the winter. A man, an autistic child, and a woman who was 8.5 months pregnant with multiple complications. They had been living in a vehicle. Ms. Hooker said they were able to help the woman get to multiple appointments, give her a baby shower, and connect them with a modular home project. Ultimately, the baby was born healthy, in a dignified fashion and the mother had a place to recover. Ms. Hooker read an email from the father explaining the positive impact that the program had on their family.

Commissioner Curtiss asked if there was any additional neighbor feedback on the request. Planner Durkee confirmed that there was just the one person objecting to this request.

Commissioner Curtiss opened the public hearing

Ms. Hooker informed Commissioners that prior to the SUP request, they did knock on doors in a five-block radius of the home. They also held an open house so the neighbors could walk through and see the houses. She said one person called and had an issue, but after so many weeks, they called back and said they were

in favor of the project. Ms. Hooker said she knows they won't be able to satisfy everyone, but she learned to do engagement early in the process.

Ms. Hooker provided copies of the residents' email statements to the Planning Commissioners.

Commissioner Bissonnette, seconded by Commissioner Audette-Bauman, moved to approve a Special Use Permit request to operate a transitional residence in the dwelling at 921 Washington Avenue.

Commissioner Bissonnette thanked them for doing this work and outreach.

Commissioner Vyas thanked Ms. Hooker for putting the program together and providing dignity to the residents.

A roll call vote was taken, and the motion passed unanimously.

3. A Special Use Permit request to develop a gas station with a convenience store at 3810 E Cork Street.

Planner Durkee shared that this parcel is in the CC zone district. He showed photos of the site and reviewed the zoning and land use maps. Planner Durkee said that the existing approaches will remain, and the access on the west is a private road. He reported that the project received a variance to have 49 parking spaces on the site. Even with the variance, this will result in a decrease in existing impervious coverage on the site. Planner Durkee stated that the building has been vacant.

Planner Durkee read the Special Use Permit (SUP) criteria:

1. This site is adjacent to a large capacity freeway interchange. The parcel and all adjacent parcels are auto-service businesses in use and scale. The applicant provided a traffic study. The proposal reflects the modernization and reinvestment of existing auto-oriented uses in this interchange.
2. This request complies with use standards of the zoning Ordinance. Gas stations require a SUP; they are not permitted in LW-2; there is a half-mile separation requirement between gas stations that sell packaged liquor.
3. The landscaping plan can provide necessary screening for road frontage, aesthetic, and coverage. There are no property screening requirements. The dumpster has adequate screening, and the layout is orderly with adequate lanes.
4. Environmental impacts will be verified through the site plan review process and the building permit process. The applicant has provided a sustainability report.
5. This use will utilize existing private easements. There are no proposed changes to the approaches to East Cork Street. There is a traffic impact analysis. The Site Plan Review Committee can coordinate with MDOT to ensure the agency's alignment is in place before construction starts.

6. Staff are supportive of the use of the easement roadway on the west side of property instead of direct access to Cork Street or Sprinkle Road.
7. There is adequate water, wastewater, and Public Safety staff for this use.
8. There is adequate access for emergency personnel.
9. The design standards for this use comply with development standards.
10. This use complies with all standards imposed by this ordinance. Quik Trip has provided a sustainability report to highlight its efforts in support of the applicant.

Planner Durkee commented about the possibility of changing the orientation of the building. He said that doesn't throw off the development standards and can be determined by the Site Plan Review Committee.

The applicant, Gabriel Longoria, gave some background and a few facts about Quik Trip. He shared some of their employee programs and benefits. Mr. Longoria mentioned the average amount of taxes locations generate, and how much of their profits they contribute to the local community. He talked about customer convenience, store and parking lot security, and food offerings.

Mr. Longoria said they were bringing the impervious coverage of the site into compliance - going from 219 to 49 parking spaces. During his presentation, he showed site plans, renderings, and a landscaping plan. Mr. Longoria said the previous use had a signed easement with Arby's and Baymont Inn. He believed they had already signed off on the pole sign.

Commissioner Kostrzewa commented they were in competition for the cleanest and most well-maintained bathrooms. He thought that was impressive.

Commissioner Wilson asked if there was only an entrance on Cork Street. The applicant stated there would be two full access on the private easement, not on Cork Street or Sprinkle Road. It will result in safer ingress and egress on the site.

Commissioner Duncan asked why they decided not to have truck or trailer parking on the site. Mr. Longoria said the site is not large enough to have that without compromising the design standards of Quik Trip and the City of Kalamazoo.

Commissioner Curtiss asked if staff received any public feedback on this request. Planner Durkee stated that he didn't receive any public feedback on this case.

Commissioner Curtiss spoke about the access agreements and wondered if it was set or if it would need to be reworked in the future. Planner Durkee stated it was a very solid easement tied to the properties adjacent to it. He said it was very well locked in with excellent title.

Commissioner Vyas stated that their responsibility was to decide whether the gas station was an appropriate use of this land. She asked staff for thoughts about the density or redundancy of gas stations in this area. Planner Durkee agreed that there are a series of gas stations in the area. There is not a separation in the zoning ordinance regarding gas stations. The only separation is if the gas station sells beer/liquor. Planner Durkee thought it was reasonable to expect gas stations in this auto-oriented corridor.

Mr. Longoria stated that they will be focusing on in-store sales as well as gas sales.

Commissioner Curtiss opened the public hearing.

Mr. Logan Herber came forward to speak in favor of the Quik Trip. He said it is more than a gas station – it is a nice place to take a break, hang out, and get some good food. Mr. Herber said his only worry was about the left turn onto Cork Street from the roundabout. Other than that, he thought it would be great for that area.

No call-in comments.

Commissioner Curtiss closed the public hearing.

Commissioner Audette-Bauman, seconded by Commissioner Kostrzewa, moved to approve a Special Use Permit request to develop a gas station with a convenience store at 3810 E Cork Street.

Commissioner Audette-Bauman thanked the applicant for a thorough presentation. She appreciated the information he gave about the company.

Commissioner Curtiss mentioned that it was helpful to have the traffic study in front of them.

A roll call vote was taken, and the motion passed unanimously.

F. DISCUSSION/ACTION ITEMS

None.

G. REPORTS:

1. City Planner's Report

None.

2. Site Plan List

No questions/concerns.

H. PUBLIC COMMENTS:

There were no in-person comments or call-in comments.

I. CITY COMMISSION LIAISON COMMENTS

Commissioner Praedel congratulated the new officers and new Planning Commissioners. He stated he would like to get pictures of the new Commissioners. Commissioner Praedel said he will continue to report back on City Commission actions related to Planning Commission recommendations. He said the Design It! Meetings were fantastic. Commissioner Praedel encouraged people to visit the website and take the survey.

J. MISCELLANEOUS COMMENTS BY PLANNING COMMISSIONERS

Commissioner Bissonnette said he had a local business owner ask him about the IK meetings. He knew there were IK Downtown meetings at the end of month, but he couldn't find the location online. Planner Durkee said he would get back with him with information. Commissioner Bissonnette congratulated and welcomed the new Planning Commissioners. He looked forward to serving with them.

Commissioner Wilson congratulated the new officers and welcomed the new Planning Commissioners.

K. ADJOURNMENT

Commissioner Curtiss adjourned the meeting at 8:25 pm.



Planning Commission Staff Report

Date: **5/7/2026**

Item: **E.1.**

City of Kalamazoo

TO: City of Kalamazoo Planning Commission

FROM: Reviewed by: Christina Anderson, AICP, City Planner
Prepared by: Bobby Durkee, AICP, Assistant City Planner

DATE: May 7, 2026

SUBJECT: P.C. # 2026.04 — Special Use Permit request to redevelop the property with a new gas station and convenience store at 4710 Stadium Drive.

BACKGROUND:

The existing gas station and convenience store at the north-east corner of Stadium Dr and S Drake Rd is seeking a Special Use Permit to redevelop the site at 4710 Drake for a new gas station and convenience store. This request is seeking to maintain the existing pump and canopy location with the existing approaches to S Drake and Stadium Drive to remain in the current location with the site rebuilt with those items not changing.

The gas station is owned by American Gas & Oil who would continue to operate the proposed new facility, replacing the structure built in 1993. The proposed redevelopment would replace the convenience store with a larger building and shift it closer to the rear property line to a setback of ten (10) feet. This would remove the rear driving lane behind the building with the current arrangement and help facilitate flow of traffic in the pump area and parking lot. The existing accessory building housing a car wash will be removed and no replacement car wash is proposed. The site currently has onsite storm drainage which discharges to Michigan Department Of Transportation (MDOT) storm pipe structures. The redevelopment of the site anticipates the current stormwater standards of the City of Kalamazoo and features increased onsite storage and current treatment structure requirements. The details and compliance to these standards are reviewed by City staff in Site Plan Review ahead of permit review and construction.

The current gas station does sell beer and wine and intends to continue this with the redevelopment. A review of the distance from the nearest store with a 1/2 mile separation requirement (Drake Party Store) shows it just over the 1/2 mile separation distance and able to continue with alcoholic beverage sales. The company holds a license for sales from the State of Michigan as well. The applicant will seek to start site plan review soon after a potential Special Use Permit approval and anticipates starting construction by 2027 on the new gas station.

STRATEGIC VISION ALIGNMENT:

Strategic Goal Impact:

Economic Vitality - A supportive infrastructure for growing businesses and stabilizing the local economy for the benefit of all.

Good Governance- Ensuring the City organization has the capacity and resources to effectively implement the community's Strategic Vision in a way that is sustainable over the long term.

COMMUNITY ENGAGEMENT:

Appropriate Depth of Engagement

Consult (two-way conversation) – the community will have a chance to react to the project through two-way conversation

Discussion: The property had a legal notice published in the Sunday, April 19th edition of the Kalamazoo Gazette, and notices were sent to properties within 300 feet of the property. The Public Participation Plan (PPP) of the City recommends, but does not require, outreach for a Special Use Permit request.

The property owner did discuss PPP options with staff and suggested having flyers at the counter announcing the redevelopment. Staff was supportive of this as it would reach a broader range of residents and commuters and also serve the high volume of users who are likely to visit the gas station at the busy intersection.

Engagement/Communication Tools

Public Notice in the Newspaper (Kalamazoo Gazette), notice sent to properties in 300 feet & the property owner provided flyers in the store announcing the new redevelopment.

FINDINGS:

The Planning Commission's role is to approve or disapprove special use permit requests based on the following criteria from Chapter 8 of the Zoning Ordinance. Staff's opinion of the level of conformance of the project with the criteria is provided in the bolded text.

1. That the proposed special use is appropriate for its proposed location and compatible with the character of surrounding land uses and the uses permitted in the zone district(s) of surrounding lands.

The use is appropriate. The corner has been a gas station for decades and is along the frontage of a large shopping center. The property to the south is a large wooded parcel which had a rezoning request to this Planning Commission in November of 2024. The gas station and shopping center are an intensive use that is in contrast with the RS-5 zoned parcel to the south. The lighting of the new facility would be to

current lighting standards of the Zoning Ordinance and required illumination to State standards for the pump facility. The gas station is wedged between two large shopping centers and the busy intersection. It does not overwhelm the existing conditions further and the use will match the current use. This factor will have a lighting and intensity that already exists and closely intense commercial development adjacent to this site. This corner of Drake and Stadium fronts two busy streets and has a wide variety of commercial and retail services arranged to manage and accommodate large volumes of customers and vehicular traffic. The gas station will continue to serve those users and can provide an accessory commercial use to the larger shopping center land uses adjacent to the site.

2. That the proposed special use complies with § 50-4.4C(12) : Use Standards of the Chapter 50 Zoning Ordinance.

Yes. The use requires a Special Use Permit from the Planning Commission. The use is in a zone that permits the use and the distance from the nearest package liquor is just over the 2,640 foot separation distance required from another convenience store use at 4717 W KI Avenue. The current site has a State of Michigan license to sell beer and wine and will seek to continue that license with the new facility. There has not been a license for liquor and the applicant does not seek to obtain one for the new facility.

3. That the location and design of the proposed minimizes adverse effects, including visual impact of the proposed use on adjacent lands by: 1) avoiding significant adverse impact on surrounding lands regarding service delivery, parking and loading, odors, noise, glare, and vibration, and does not create a nuisance; 2) retaining, to the greatest extent possible, the natural features of the landscape where they provide a barrier or buffer between the proposed special use and adjoining lands; 3) locating buildings, structures, and entryways to minimize impact; 4) providing appropriate screening, fencing, landscaping, and setbacks.

Yes. For item 1 the gas station is at the corner of a large number of commercial stores and uses behind it (north) in both directions. For the street front, the use is behind a clear vision triangle, which is a swath of open right of way at the corner. The new use maintains the same open area along the canopy and faces toward the intersection. Areas where there is vehicle parking feature the required landscaping screening and the hill and elevation naturally screen the use from the north. Lighting impacts to the property across the street or facing Stadium Drive shall adhere to the City lighting standard for brightness, light screening, and other standards.

For item 2 there are not natural features to preserve. The elevation change will be addressed through grass-covered hills and retaining walls which match the current slope on site. The new condition will feature similar design to the current site, with the exception of no driveway behind the building. This is available flat space to shift the building further back. The layout of the parking, pumps, and extra space ensure the location of the buildings, uses and spaces will minimize impact for item 3. For item 4, the applicant has demonstrated the ability to meet the landscaping plan on the plans provided. Final review

for placement and count shall be confirmed in site plan review by the Site Plan Review Committee.

4. That the proposed special use minimizes environmental impacts, and conforms to all relevant environmental protection standards of this Ordinance, or any other state or federal laws.

The civil plans of the site redevelopment demonstrate the ability to conform to relevant local protection standards. Gas station materials of hazardous materials containment and chemical handling requirements are regulated by the State of Michigan. Review of the local standards and the ability to align with state standards will be verified through site plan review and the permitting process. The new layout will align with current stormwater treatment and containment of hazardous spills in design. Details related to containment, regulatory documentation, and other standards are reviewed during site plan review. The site features a larger storm water containment volume and SDS sheets of volumes, storage and location of potentially hazardous chemicals are also reviewed more closely in site plan review.

5. That there is adequate road capacity available to serve the proposed special use.

There is adequate road capacity to serve the use. The site access will remain the same and site access is to the same gas station. There is no addition of shopping center traffic.

6. That the proposed special use is designed to ensure safe ingress and egress onto the site and safe road conditions around the site.

The applicant has designed the site utilizing the same entry and exit points. The location can accommodate outbound and northbound traffic but does feature wide approaches for vehicle movements in and out of the site along two busy roadways. The building shifted back opens up a maneuvering area for traffic and customers and provides areas for customer parking and access in a better arrangement than the existing site. This added room removes drive-through traffic away from the pump areas and, with minimal impervious coverage increase, provides a more orderly layout for the uses on the site.

7. That there are adequate potable water, wastewater, solid waste, park, police, and fire/EMS facilities to serve the proposed special use.

There are adequate utilities, and there are police, fire and EMS facilities to serve this use. As a gas station, the proximity to parks would not be significant and, while not a city park, the WMU Asylum Lake Preserve is a short distance to the south of this site.

8. That the proposed special use is located and designed so that adequate access onto the site is provided for fire, police, and EMS services.

The proposed layout does provide adequate access for fire, police, and EMS services. The new layout removes hidden driveways and more narrow lanes behind the building and replaces it with open and viewable driving and access areas for customer traffic and, if necessary, police, fire and EMS access better than the current layout.

9. That the proposed special use complies with the appropriate standards in Chapter 6: General Development Standards.

There are no Chapter 6 standards that apply to this use. The use complies with the use standards for a gas station in 50-5.6 of the Chapter 50 Zoning Ordinance.

10. The proposed special use complies with all standards imposed on it by all other applicable provisions of this Ordinance for use, layout, and general development characteristics.

The proposed special use complies with all standards imposed by this ordinance, including building setback, canopy location, parking count, impervious coverage, package liquor separation, and the ability to comply with the performance and operations standards associated with this proposed special use request to rebuild the gas station and convenience store.

RECOMMENDATION:

Planning staff recommends the Planning Commission approve the request for a special use permit at 4710 Stadium Drive as it meets the review criteria for Special Use approval.

Planning Commission Application



Submitted on	6 April 2026, 9:58AM
Receipt number	21
Related form version	7

Introduction

Have you scheduled a pre-application meeting?	Yes
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Applicant Information

Name	Jason Berris
Organization (if applicable)	JFB Real Estate, LLC
Email Address	j.berris@americango.biz
Phone Number	(616)-887-0956
Address	American Gas & Oil, 440 West Division, PO Box 247, Sparta, MI 49345 No coordinates found
Preferred Contact Method	Email
Are you the property owner?	Yes

Property and Application Details

Property Address	4710 Stadium Dr, Kalamazoo, MI 49008, USA Map (42.2701909, -85.64779039999999)
Parcel Identification Number	06-30-150-001
Zone District	CC
Type of Request	Special Use Permit
Application Fees	\$375.00
Project Description & Reason for Request	Reconstruction of existing gas station. The project will include removal of the existing gas station and car wash buildings, and the construction of a new gas station/convenience store building, along with related parking/drive improvements as shown on the submitted site plan set. The car wash use is removed from the site.

Special Use Permits

<p>Will the proposed special use be appropriate for this location and compatible with the character of surrounding land uses and the uses permitted in the zone districts?</p>	<p>The proposed use already exists on the property and has existed on the property for many years. The project will remove the existing car wash, which has also existed on the property for many years. Since the proposed use already exists, it is compatible with the character of the area and the busy roadway system on which it is located.</p>
<p>Does the proposed special use comply with the Use Standards of Chapter 4 and Chapter 50 for this land use?</p>	<p>The proposed project complies with the standards of Chapter 4 and 50.</p>
<p>Will the location and design of the special use reduce any negative impacts on surrounding lands with regard to: visual impact, parking and loading, odors, noise, glare, and vibration?</p>	<p>The project will remove the car wash use from the property. Better parking will be provided on the property. And the new building will be more aesthetically pleasing than the existing gas station building.</p>
<p>Does the location and design of the special use reduce undesirable effects, including visual impact of the proposed use on adjacent property by retaining some natural features of the landscape to provide a buffer between the special use and adjoining lands?</p>	<p>The project will remove the car wash use, which is often considered an undesirable use, from the property. There is not really any natural features to preserve on the site as it is already developed. Proposed landscaping will be provided as required by the zoning ordinance.</p>
<p>Does the location and design of the special use reduce adverse effects, including visual impact of the proposed use on adjacent property by locating buildings, structures, and entryways to reduce impact?</p>	<p>As mentioned above, the project removes the car wash use. The project results in the building being further off the roadway network to give more room to maneuver and park on the property. Access to the site will remain the same as exists so there is no negative impacts to traffic.</p>
<p>Does the location and design of the special use reduce adverse effects, including visual impact of the proposed use on adjacent property by providing appropriate screening, fencing, landscaping, and setbacks?</p>	<p>The project meets all required setbacks, and screening and landscaping will be provided as required by the zoning ordinance.</p>
<p>Will the proposed special use reduce environmental impacts, and conform to all environmental protection standards of this Ordinance, or any other state or federal laws?</p>	<p>The site is already developed, so there are not really any environmental impacts. The standards of the ordinance or any/all other state or federal laws will be met. Storm water detention/retention already exists on the property and will continue to be provided.</p>
<p>Will there be adequate road capacity available to serve the proposed special use?</p>	<p>Yes. The use of the property will not change, other than the removal of the car wash use from the property. The access locations/driveways to the site already exist and will not be changed as part of this project. Stadium Drive and Drake Road are major roadways and have adequate capacity.</p>
<p>Will the proposed special use be designed to ensure safe ingress and egress onto the site and safe road conditions around the site?</p>	<p>Yes. The use of the property will not change, other than the removal of the car wash use from the property. The access locations/driveways to the site already exist and will not be changed as part of this project. Stadium Drive and Drake Road are major roadways and have adequate capacity.</p>
<p>Will there be adequate potable water, wastewater, solid waste, park, police, and fire/EMS facilities to serve the proposed special use?</p>	<p>Yes. The building will be serviced by public water and sanitary sewer. A dumpster (and enclosure) is provided on site for solid waste. Police and fire/EMS will continue to have access to and through the site as currently exists.</p>
<p>Will the proposed special use be located and designed so that adequate access onto the site is provided for fire, police, and EMS services?</p>	<p>The proposed project has the same access to and through the site for fire, police, and EMS services.</p>
<p>Does the proposed special use meet the appropriate standards in Chapter 6: General Development Standards?</p>	<p>Yes. The proposed project meets all zoning ordinance standards.</p>
<p>Does the proposed special use meet all standards imposed on it by all other sections of this Ordinance for use, layout, and general development characteristics?</p>	<p>Yes. The proposed project meets all zoning ordinance standards.</p>

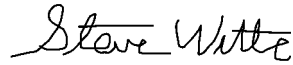
Supporting Documentation

Please upload any documents related to your application. These can include plans detailing variance request, photos of the property, correspondence from city staff, etc.

[Narrative.pdf](#)
[2026.04.03.CombinedCivilPlans.pdf](#)

Submit

Your Signature



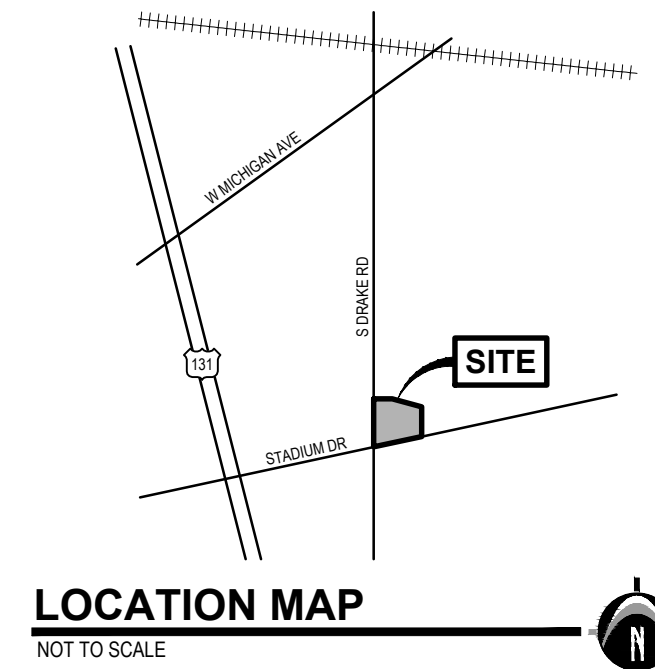
[Link to signature](#)

AGO - CITGO

4710 STADIUM DRIVE

CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

RECEIVED
 April 6, 2026
 City of Kalamazoo
 Planning Commission



NEDERVELD

www.nederveld.com
800.222.1868

GRAND RAPIDS
217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.275.8199

ANN ARBOR
3037 Miller Rd.
Ann Arbor, MI 48103
Phone: 734.929.6963

HOLLAND
730 Chicago Dr.
Holland, MI 49423
Phone: 616.393.0449

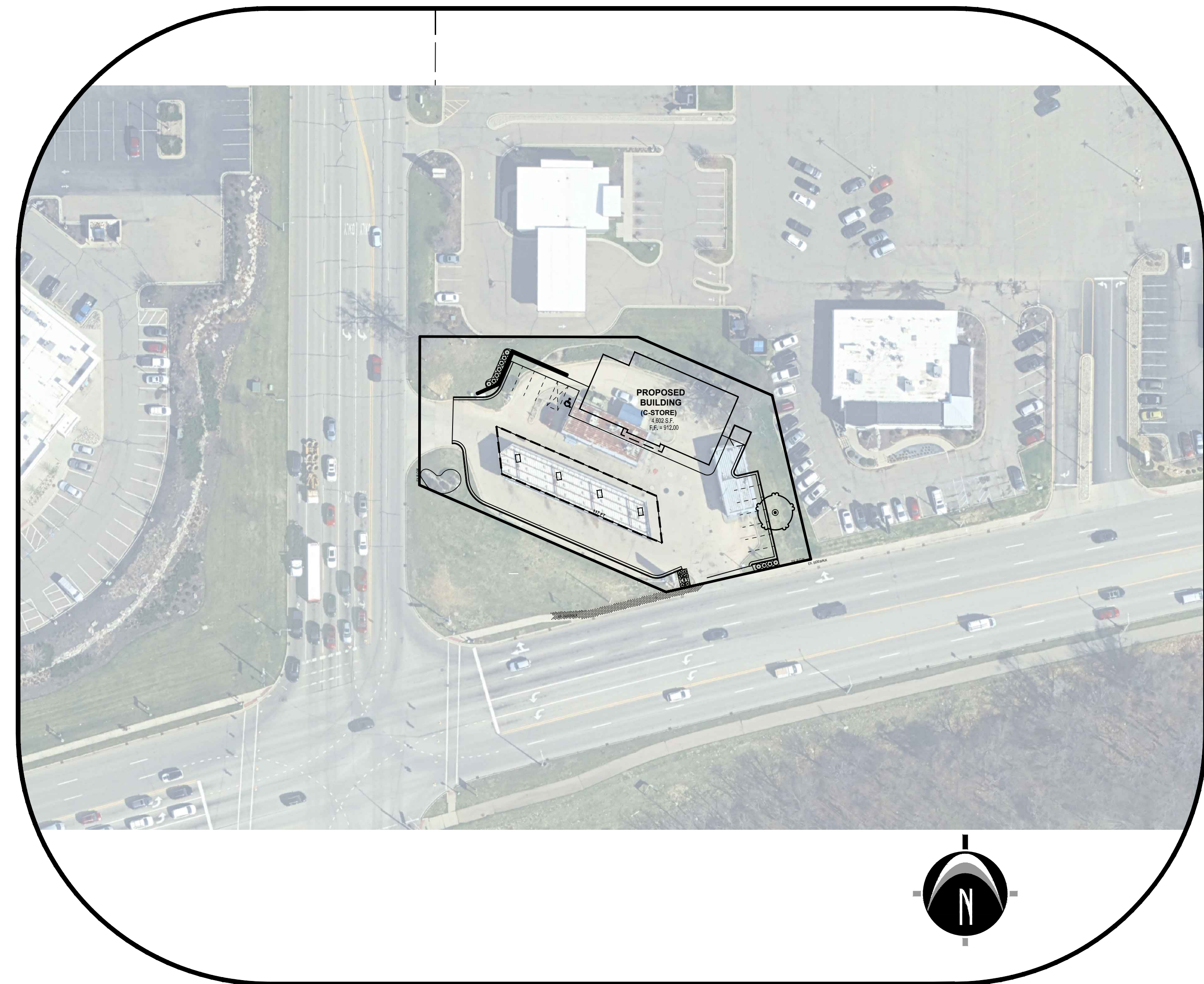
PREPARED FOR:
American Gas & Oil, Inc.
Attention: Jason Berris

440 West Division
PO Box 247
Sparfa, MI 49345
Phone: 616.887.0956

REVISIONS:

Title: Preliminary Concept Plan	Drawn: SW	Checked: SW	Date: 02/13/26
Title: Preliminary Concept Plan	Drawn: SW	Checked: SW	Date: 03/11/26
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Title: Site Plan - Special Use Submittal	Drawn: SW	Checked: SW	Date: 04/02/26

SITE PLAN



SHEET INDEX

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Site Layout Plan	C-205
S.E.S.C. & Grading Plan	C-300
Utility Plan	C-400
Details and Specifications	C-500
Landscape Plan	L-100

AGO - CITGO
4710 STADIUM DR.
 Cover Sheet
 4710 Stadium Drive
 PART OF THE NORTHWEST 1/4 OF SECTION 30, T2S, R11W,
 CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

SEAL:

TITLE DESCRIPTION

The land referred to in this policy is situated in the City of Kalamazoo, County of Kalamazoo, State of Michigan, and is described as follows:

Part of the Northwest 1/4 of Section 30, Town 2 South, Range 11 West, more particularly described as: Beginning at a point on the Easterly right of way line of 12th Street, which is North 0 degrees 09 minutes East 1099.88 feet and South 89 degrees 51 minutes East 33.00 feet from the West 1/4 post of said Section 30; thence North 0 degrees 09 minutes East 100.00 feet along the Easterly right of way line of 12th Street; thence South 89 degrees 51 minutes East 146.97 feet; thence South 66 degrees 32 minutes 13 seconds East 98.59 feet; thence South 13 degrees 16 minutes 52 seconds East 113.46 feet to the Northerly right of way line of Stadium Drive; thence Southwesterly along the arc of a 0 degree 30 minute curve to the left 100.00 feet, chord bearing of South 77 degrees 14 minutes 49 seconds West 100.00 feet radius of 11459.16 feet; thence North 66 degrees 32 minutes 13 seconds West 181.19 feet to the place of beginning.

Said property is also described as: Lot 1, West Towne Mall No. 1, according to the Plat thereof as recorded in Liber 31 of Plats, Page 22, Kalamazoo County Records.

BENCHMARKS

BENCHMARK #54 ELEV. = 909.93 (NAVD88)
Set benchmark on SE bolt of sign post/light pole. Located 64'± North of the centerline of Stadium Drive & 70'± East of the centerline of Drake Road.

BENCHMARK #500 ELEV. = 917.64 (NAVD88)
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811 Know what's below. CALL before you dig.

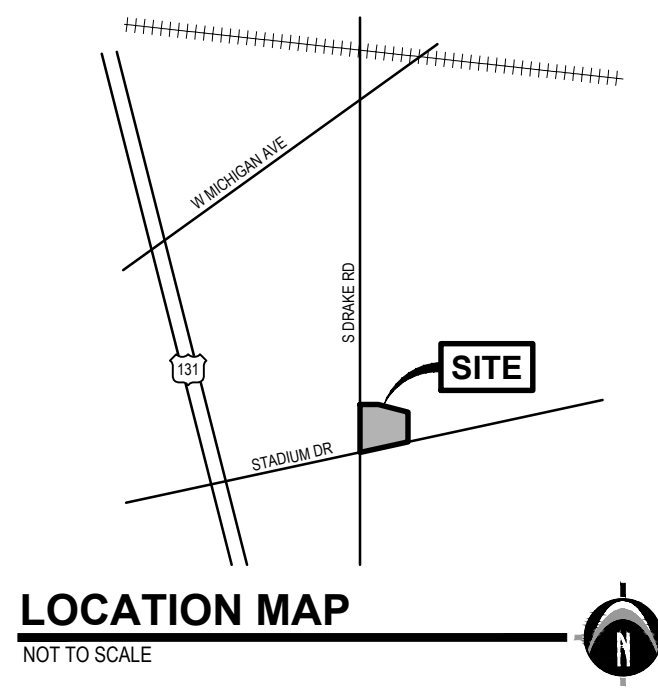
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SCHEDULE B - SECTION II NOTES

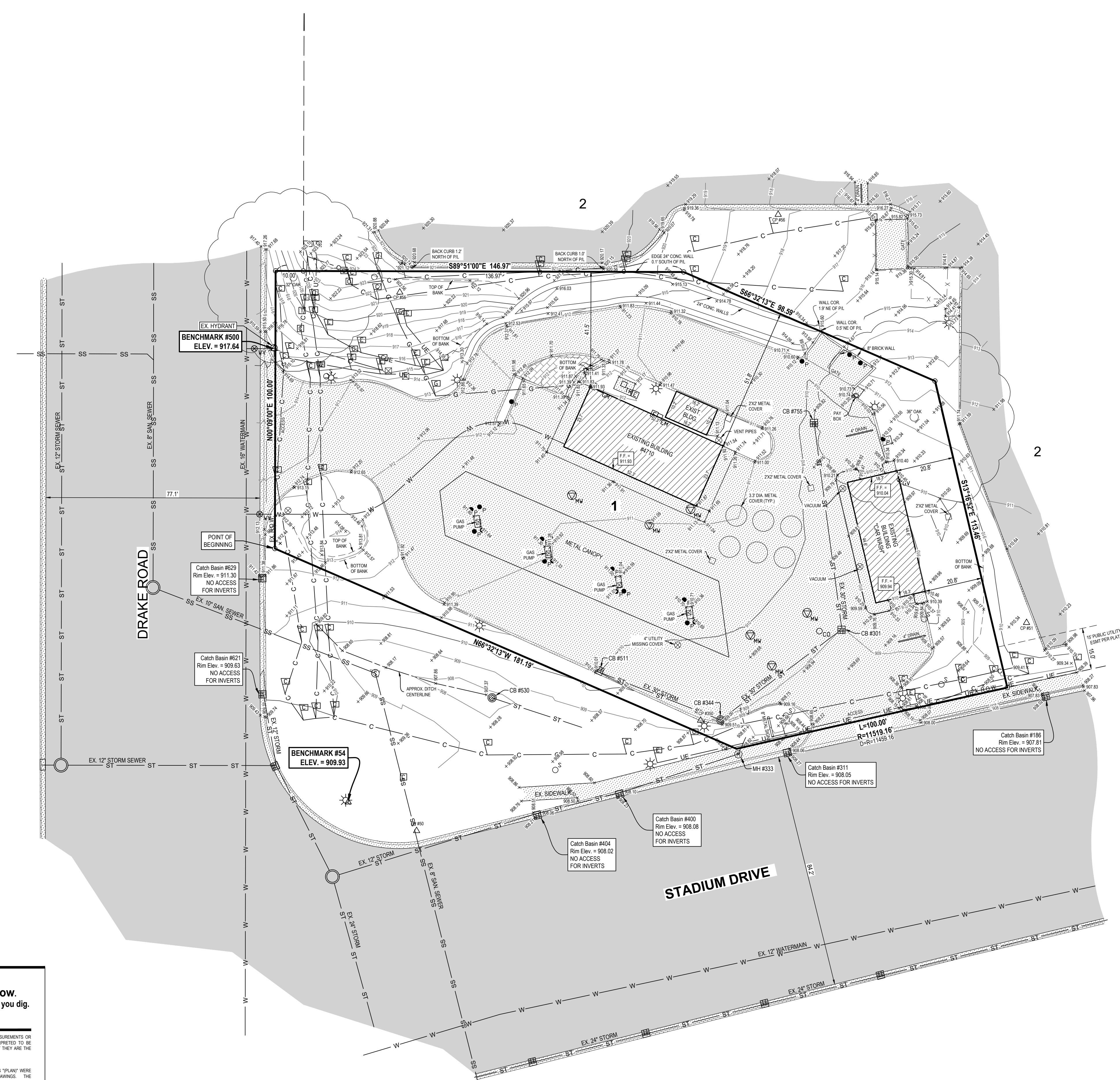
- 6. Easement granted to Consumers Power Company dated March 20, 1940 and recorded November 2, 1940 in Liber 407, Page 19, which was amended by the instrument recorded November 18, 1972 in Liber 904, Page 175. **Support documents not provided to surveyor.**
- 7. Easement granted to Consumers Power Company dated December 29, 1972 and recorded February 7, 1973 in Liber 909, Page 606 and re-recorded March 15, 1973 in Liber 911, page 956. **Support documents not provided to surveyor.**
- 8. Rights of ingress and egress evidenced by the instrument recorded October 5, 1961 in Liber 784, Page 1250. **Support documents not provided to surveyor.**
- 16. Environmental Access Easement dated June 13, 2000, recorded June 15, 2000 in Document No. 2000-020469. **Support documents not provided to surveyor.**

SURVEYOR'S NOTES

- 1) Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260315, Panel Number 0169 E, Map Number 26077C0169E, with an Effective Date of July 31, 2024, shows this parcel to be located in Zone X (Areas of Minimal Flood Hazard) (subject to map scale uncertainty).
- 2) Source information from plans and markings has been combined with observed evidence of utilities to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- 3) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
- 4) This survey was made from the legal description shown hereon. The description should be compared with the Abstract of Title or Title Policy for accuracy, easements and exceptions.
- 5) Gross Land Area: 33,997 Square Feet / 0.78 Acres

LEGEND

	Catch Basin - Round
	Catch Basin - Square
	Cleanout
	Control Point/Benchmark
	Cable Riser
	Deciduous Tree
	Electric Meter
	Electric Riser
	Gas Meter
	Gas Valve
	Hydrant
	Iron Found
	Light Pole
	Miss Dig Flag - Cable
	Miss Dig Flag - Electric
	Miss Dig Flag - Gas
	Manhole
	Monitor Wall
	Post
	Phone Riser
	Sign
	Sanitary Manhole
	Transformer
	Water Valve
	Cable TV Line
	Electric Underground Line
	Fence
	Gas Line
	Storm Line
	Asphalt
	Existing Building
	Concrete
	Brick



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STRUCTURE INFORMATION

#	Structure Type	DIA.	Rim Elevation	Generic Notes	Size/Type/Direction	Invert Elevation
301	Catch Basin	5	908.99	CANNOT SEE S. SIDE	30" CPP (SW) 30" CPP (N)	903.83 903.69
333	Miscellaneous Manhole	-	908.58	-	12" CONC (NNE) 18" CONC (NW)	901.62 899.52
344	Catch Basin	-	908.97	-	30" CPP (NW) 30" CPP (E)	903.83 903.91
511	Catch Basin	-	909.96	-	30" CPP (SE)	904.37
530	Catch Basin	2	907.38	-	12" CONC (SE)	905.64
755	Catch Basin	5	909.63	CANNOT SEE N. SIDE	30" CPP (S)	904.95

SEAL:

PROJECT NO:
26200097

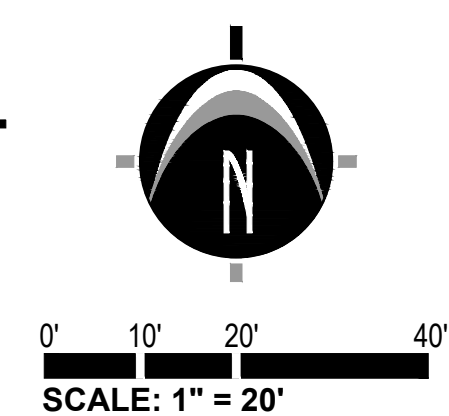
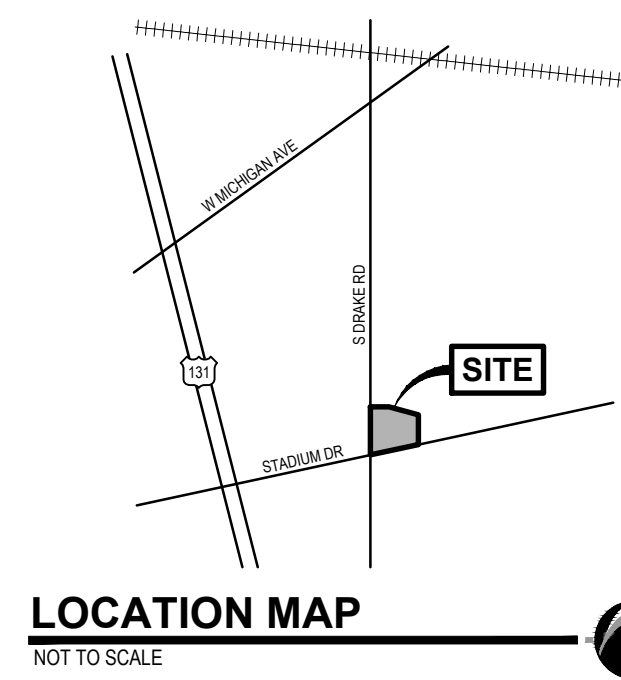
SHEET NO:
C-201

2 OF 8

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LEGEND

- Catch Basin - Round
- Catch Basin - Square
- Cleanout
- Control Point/ Benchmark
- Cable Riser
- Deciduous Tree
- Electric Meter
- Electric Riser
- Gas Meter
- Gas Valve
- Iron Found
- Light Pole
- Miss Dig Flag - Cable
- Miss Dig Flag - Electric
- Miss Dig Flag - Gas
- Manhole
- Monitor Well
- Post
- Phone Riser
- Sign
- Sanitary Manhole
- Transformer
- Water Valve
- Cable TV Line
- Electric Underground Line
- Fence
- Gas Line
- Storm Line
- Asphalt
- Existing Building
- Concrete
- Brick

REMOVAL / DEMOLITION NOTES

- 1) THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED REPLACEMENT WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED, IT IS KNOWN THESE UTILITIES ARE LOCATED WHERE DIGGING IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- 2) ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM EXISTING RECORDS MAY NOT BE COMPLETE OR ACCURATE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- 3) BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY AND BY THE OWNER, REPRESENTATIVES OF THE CITY, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES, RECORDS OF THE INSPECTORS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 5) ALL EXISTING UTILITIES, SEWERS AND WATER LINES ARE TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- 6) THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL UTILITIES OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES OTHERWISE NOTED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR. EXISTING APPURTENANCES SUCH AS UTILITY POLES AND VALVES BOX SHALL NOT BE DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION.
- 7) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.
- 8) ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- 9) THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE CITY OR OWNER.
- 10) ASPHALT AREAS SHOWN TO BE SAWCUT AND REMOVED FULL DEPTH ARE ACTUAL. FACE OF PROPOSED CURBS. IT WILL BE NECESSARY TO MAKE OFF-SET SAWCUTS TO PROVIDE CLEARANCE FOR PROPOSED CURBS. THE CONTRACTOR SHALL DETERMINE THE AMOUNT OF OFF-SET NECESSARY TO CONSTRUCT THE PROPOSED CURBS. ADDITIONAL CUTS MAY BE DESIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO EXTRA PAYMENT FOR ADDITIONAL CUTS. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE REMAINING PAVEMENT. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL FULL DEPTH SAWCUTS AND REMOVE THE DAMAGE AREAS AS NECESSARY.
- 11) ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS-SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- 12) ALL TREES AND VEGETATION WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.

REMOVAL / DEMOLITION NOTES

- REMOVE EXISTING CONCRETE
- REMOVE EXISTING BITUMINOUS PAVEMENT
- REMOVE EXISTING BUILDING.
- REMOVE EXISTING GAS PUMPS, ISLANDS, AND FUEL CANOPY.
- REMOVE EXISTING BLOCK RETAINING WALL.
- REMOVE EXISTING CURB.
- REMOVE EXISTING UNDERGROUND FUEL TANKS PER ALL APPLICABLE REQUIREMENTS.
- REMOVE EXISTING PRIVATE UTILITY LINES, METERS, AND AIR CONDITIONING UNITS. CONTRACTOR TO COORDINATE WALL WORK WITH THE VARIOUS PRIVATE UTILITY COMPANIES.
- REMOVE EXISTING STORM SEWER CATCHBASIN, TRENCH DRAIN AND/OR STORM PIPE.
- REMOVE EXISTING LIGHT POLE.
- REMOVE EXISTING POST/BOLLARD.
- REMOVE EXISTING WALL/ DUMPSTER ENCLOSURE.
- REMOVE EXISTING VACUUM.
- REMOVE EXISTING TREE.
- REMOVE AND REPLACE LIGHT POLE AS NECESSARY FOR CONSTRUCTION OF NEW UNDERGROUND FUEL TANK.

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AGO - CITGO
4710 STADIUM DR.
Demolition Plan

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PART OF THE NORTHWEST 1/4 OF SECTION 30, T2S, R11W,
CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

SEAL:

STATE OF MICHIGAN
STEVEN L. WITTE
ENGINEER
No. 46769
LICENSED PROFESSIONAL ENGINEER

PROJECT NO:
26200097

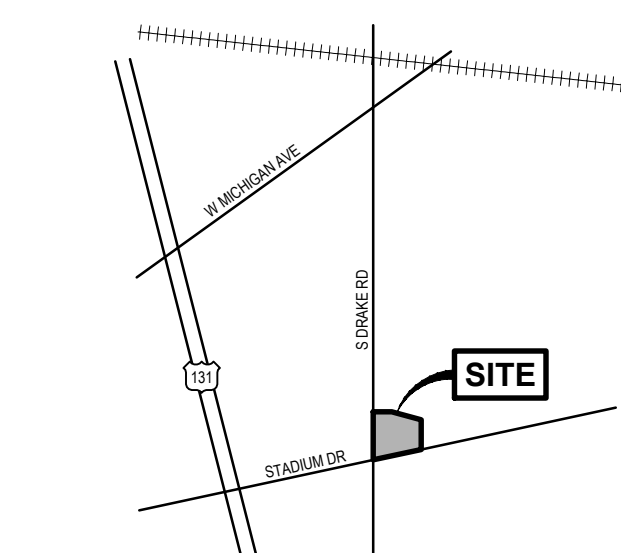
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3 OF 8

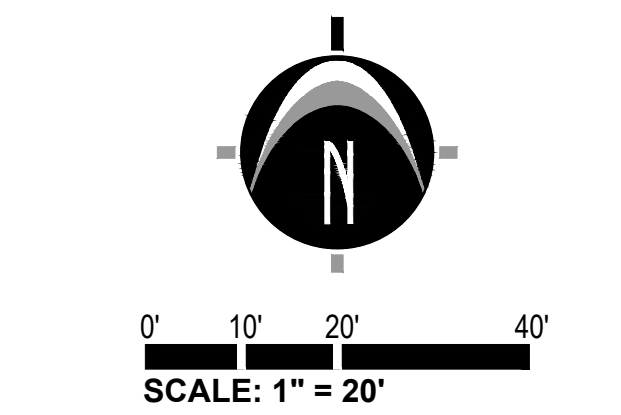
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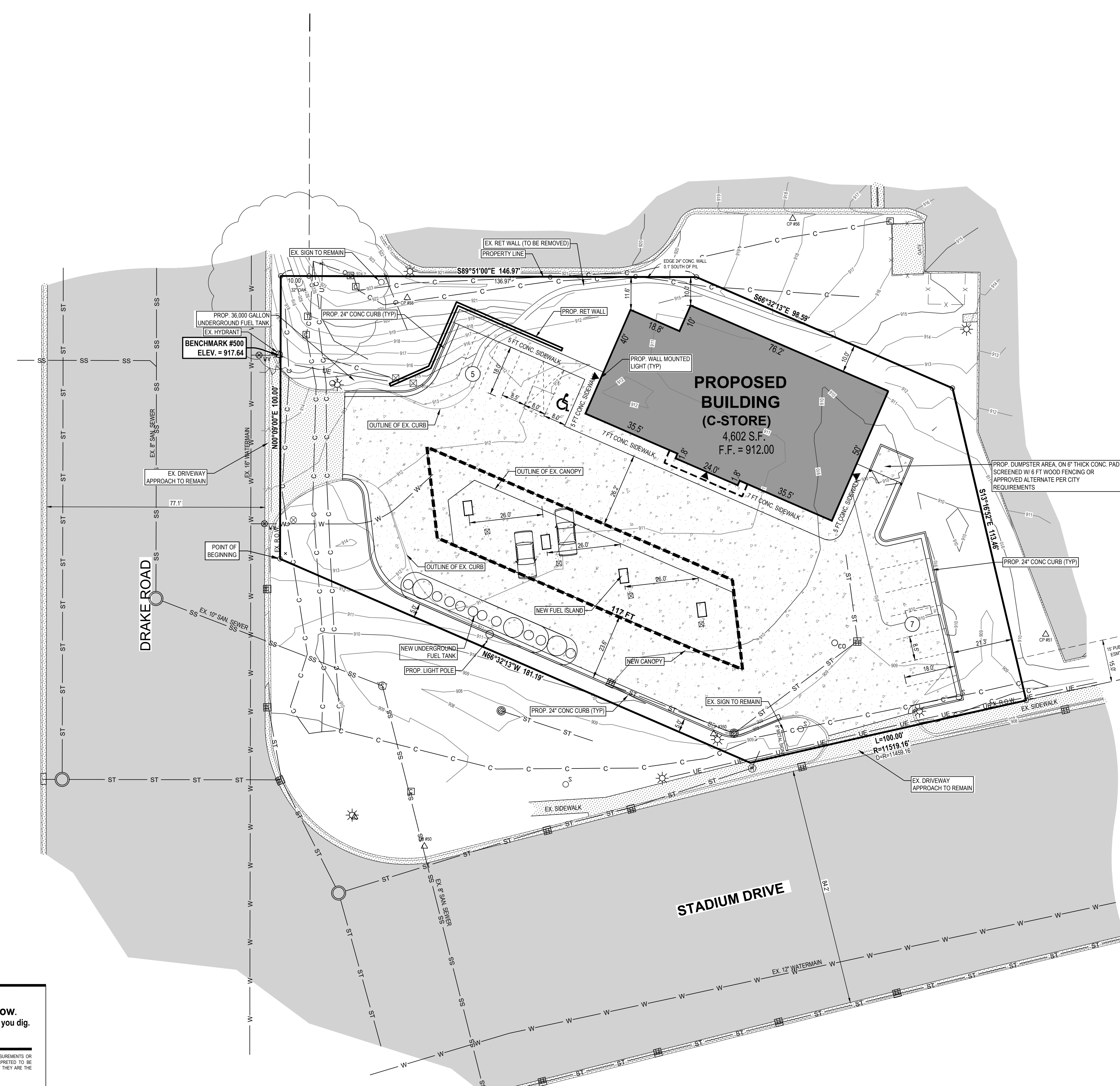


LOCATION MAP
NOT TO SCALE



LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS (STANDARD DUTY)
	PROPOSED BITUMINOUS (HEAVY DUTY)
	PROPOSED CONCRETE (STANDARD DUTY)
	PROPOSED CONCRETE (HEAVY DUTY)



GENERAL NOTES

- ZONING OR SUBJECT PARCEL - CC - COMMUNITY COMMERCIAL
CC ZONING REQUIREMENTS:
MINIMUM LOT AREA = 1 ACRE / 43,560 SF
MINIMUM LOT WIDTH = NOT APPLICABLE
MAXIMUM BUILDING HEIGHT = 6 STORIES
MINIMUM LOT COVERAGE (BUILDING) = 80%
MINIMUM ALLOWED BUILDING SETBACKS:
FRONT YARD = NOT APPLICABLE
SIDE YARD = 0 FT
REAR YARD = 0 FT
- SUMMARY OF LAND USE:
A) AREA OF SITE = 33,897 SF ± (10.78 AC ±) (EXCLUDING R.O.W.)
B) EXISTING HARD SURFACE AREA ON SITE = 23,785 SF ±, INCLUDING:
2,220 SF ± BUILDINGS, 21,565 SF ± PAVEMENT/CANOPY
C) AREA OF PROPOSED BUILDING = 4,602 SF ±
D) PROPOSED ON SITE PAVEMENT AREA = 19,525 SF ±
E) PROPOSED HARD SURFACE AREA = 24,127 SF ±
F) NET INCREASE IN HARD SURFACE AREA = 342 SF ±
G) GREEN AREA PROVIDED ON SITE = 9,870 SF ± (29.1%)
H) HEIGHT OF PROPOSED BUILDING = 25 FT ±
I) ZONING OF SURROUNDING PARCELS - CC TO NORTH AND EAST
= RM15 TO SOUTH
= OSHTMO TOWNSHIP (C = LOCAL BUSINESS DISTRICT) TO WEST
- PARKING REQUIREMENTS:
A) TYPICAL STRIPED PARKING SPACE = 8.5x18' (20 FT TWO-WAY AISLES)
B) TYPICAL HANDICAPPED SPACE = 8.5x18' (WITH 8 FT WIDE VAN ACCESSIBLE AISLES)
C) PARKING SPACES REQUIRED = 14 (BASED ON 1 PER 330 SF RETAIL)
D) PARKING SPACES PROVIDED = 20 (INCLUDES 8 PUMP SPACES)
E) NORMAL PARKING SETBACK = 5 FT IN FRONT YARD
= NO SETBACK REQUIRED IN SIDE/REAR YARDS
- THE SITE CURRENTLY HAS MULTIPLE BUILDINGS AND PAVEMENT ON IT. THE OVERALL SITE IS CURRENTLY BEING USED AS A GAS STATION AND A CAR WASH. ALL OF THE EXISTING BUILDINGS AND THE CANOPY WILL BE REMOVED AS PART OF THE PROJECT. THE CAR WASH USE WILL BE ELIMINATED FROM THE PROPERTY.
- THIS PROJECT IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS.
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SILT FENCING, SEEDING AND MULCHING AND COMPACTION.
- THE EXISTING FREESTANDING SIGN IS PROPOSED TO REMAIN. ALL NEW SIGNAGE SHALL COMPLY WITH THE STANDARDS OF THE CITY OF KALAMAZOO ZONING CODE.
- UTILITIES SHOWN APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
- ALL PROPOSED LIGHTING SHALL BE SHIELDED FROM ADJACENT PROPERTIES. THE PROPOSED LIGHT POLES ARE TO BE MAXIMUM 35 FT HIGH AND SHALL HAVE SHOEBOX TYPE FIXTURES.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING INVERTS.
- STORM WATER RUNOFF FROM THE SITE WILL BE MANAGED AS REQUIRED BY THE CITY OF WYOMING.
- THE PROPOSED BUILDING WILL BE SERVICED BY PUBLIC UTILITIES - SANITARY SEWER, WATER, STORM SEWER, ELECTRICAL, TELEPHONE, AND GAS.
- THE PARCEL NUMBER AND ADDRESS OF THE PROPERTY ARE AS FOLLOWS:
4710 STADIUM DRIVE. PARCEL NUMBER 06-30-150-001.
- THE PROPOSED PROJECT WILL COMMENCE CONSTRUCTION IN THE SUMMER/FALL OF 2026. PENDING APPROVALS AND PERMITS. IT IS ANTICIPATED THAT CONSTRUCTION WILL BE COMPLETED IN 2027. THE PROJECT WILL BE CONSTRUCTED IN ONE PHASE.
- A KNOX BOX MUST BE PROVIDED ON THE BUILDING FOR FIRE DEPARTMENT ACCESS.

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C-205
4 OF 8

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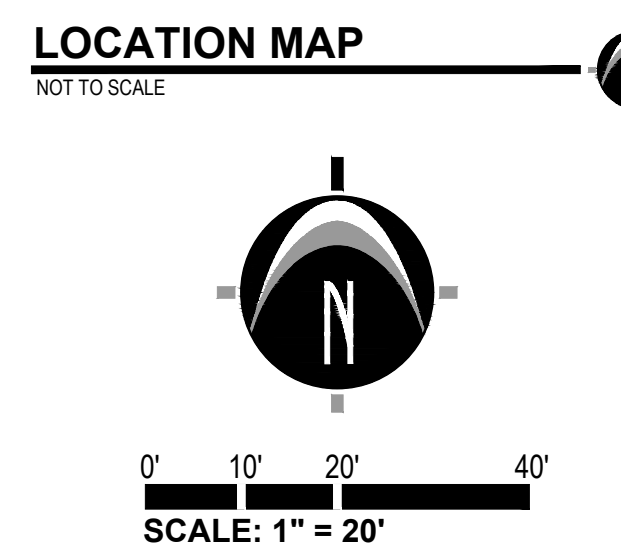
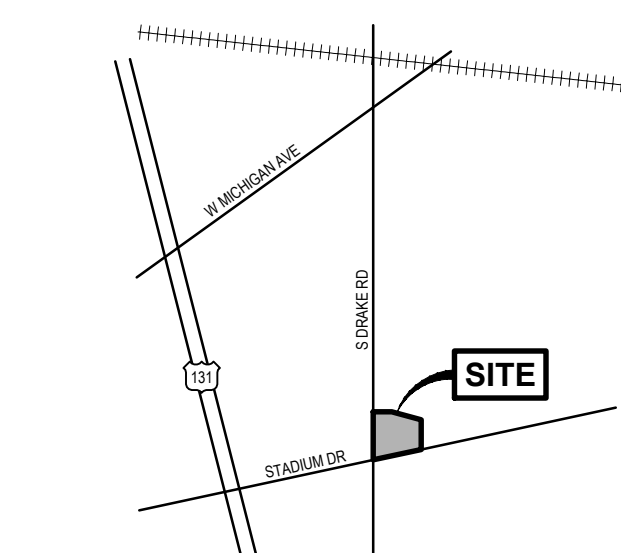
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BENCHMARKS

BENCHMARK #54 ELEV. = 909.93 (NAVD88)
Set benchmark on SE bolt of sign post/light pole. Located 64'± North of the centerline of Stadium Drive & 70'± East of the centerline of Drake Road.

BENCHMARK #500 ELEV. = 917.64 (NAVD88)
Set benchmark on SE flange bolt to hydrant. Located 229'± North of the centerline of Stadium Drive & 43.5'± East of the centerline of Drake Road.



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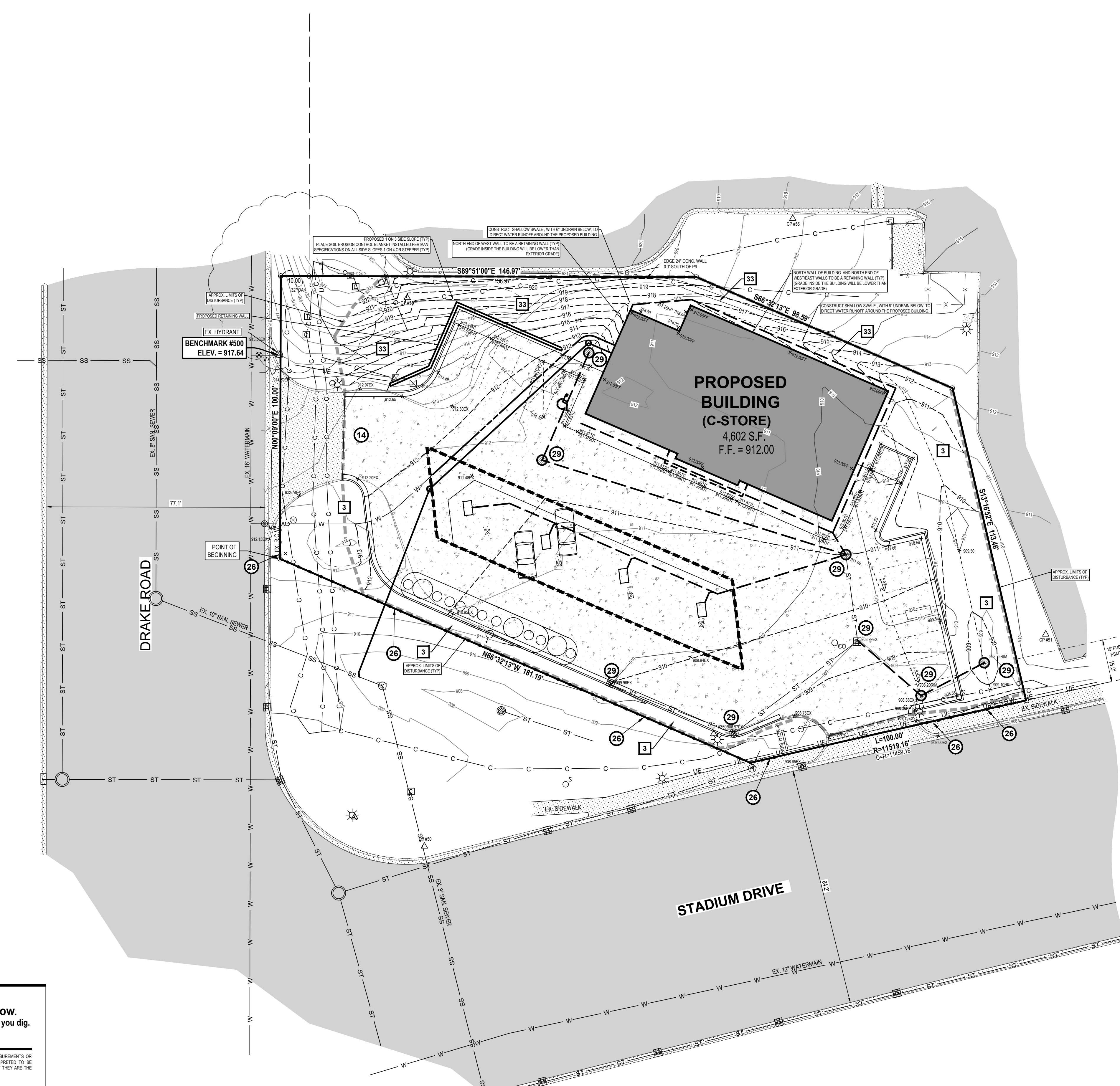
PREPARED FOR:
American Gas & Oil, Inc.
Attention: Jason Berris
440 West Division
PO Box 247
Sparta, MI 49345
Phone: 616.887.0956

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LEGEND

- EX. GRADE CONTOUR
- PROP. GRADE CONTOUR
- PROP. GRADE ELEV. (BLACKTOP)
- PROP. GRADE ELEV. (CONCRETE)
- PROP. GRADE ELEV. (GUTTER)
- PROP. GRADE ELEV. (EDGE OF METAL)
- PROP. GRADE ELEV. (HIGH POINT)
- EX. BITUMINOUS
- EX. CONCRETE
- PROPOSED BITUMINOUS (STANDARD DUTY)
- PROPOSED BITUMINOUS (HEAVY DUTY)
- PROPOSED CONCRETE (STANDARD DUTY)
- PROPOSED CONCRETE (HEAVY DUTY)
- PROP. STORM SEWER
- PROP. SANITARY SEWER
- PROP. WATERMAIN
- SPILL CURB
- FLOW DIRECTION
- EMERGENCY OVERTFLOW STORMWATER FLOW ROUTE
- PROP. LIMITS OF GRADING
- SILT FENCE

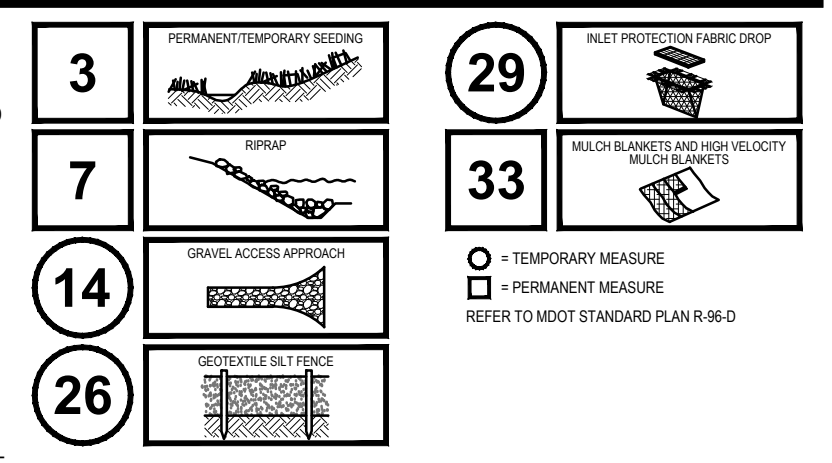


SOIL EROSION CONTROL SCHEDULE 2026

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PLACE SILT FENCE												
STRIP & STOCKPILE TOPSOIL												
CONSTRUCT CONNECTION TO STORM SEWER												
ROUGH GRADE SITE												
CONSTRUCT BUILDING FOUNDATION AND BUILDING												
CONSTRUCT IMPROVEMENTS AROUND BUILDING												
CONSTRUCT UTILITY LINES TO BUILDING												
FINISH GRADE SITE												
PAVE SITE												
RESPREAD TOPSOIL/COMPACTION												
SEED DISTURBED AREAS												
SITE RESTORATION/CLEAN UP												

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (MARCH 2021) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SESC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SESC MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



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**AGO - CITGO
4710 STADIUM DR.**
Grading and S.E.S.C. Plan
4710 Stadium Drive
PART OF THE NORTHWEST 1/4 OF SECTION 30, T2S, R11W,
CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

SEAL:

PROJECT NO:
26200097

SHEET NO:
C-300
5 OF 8

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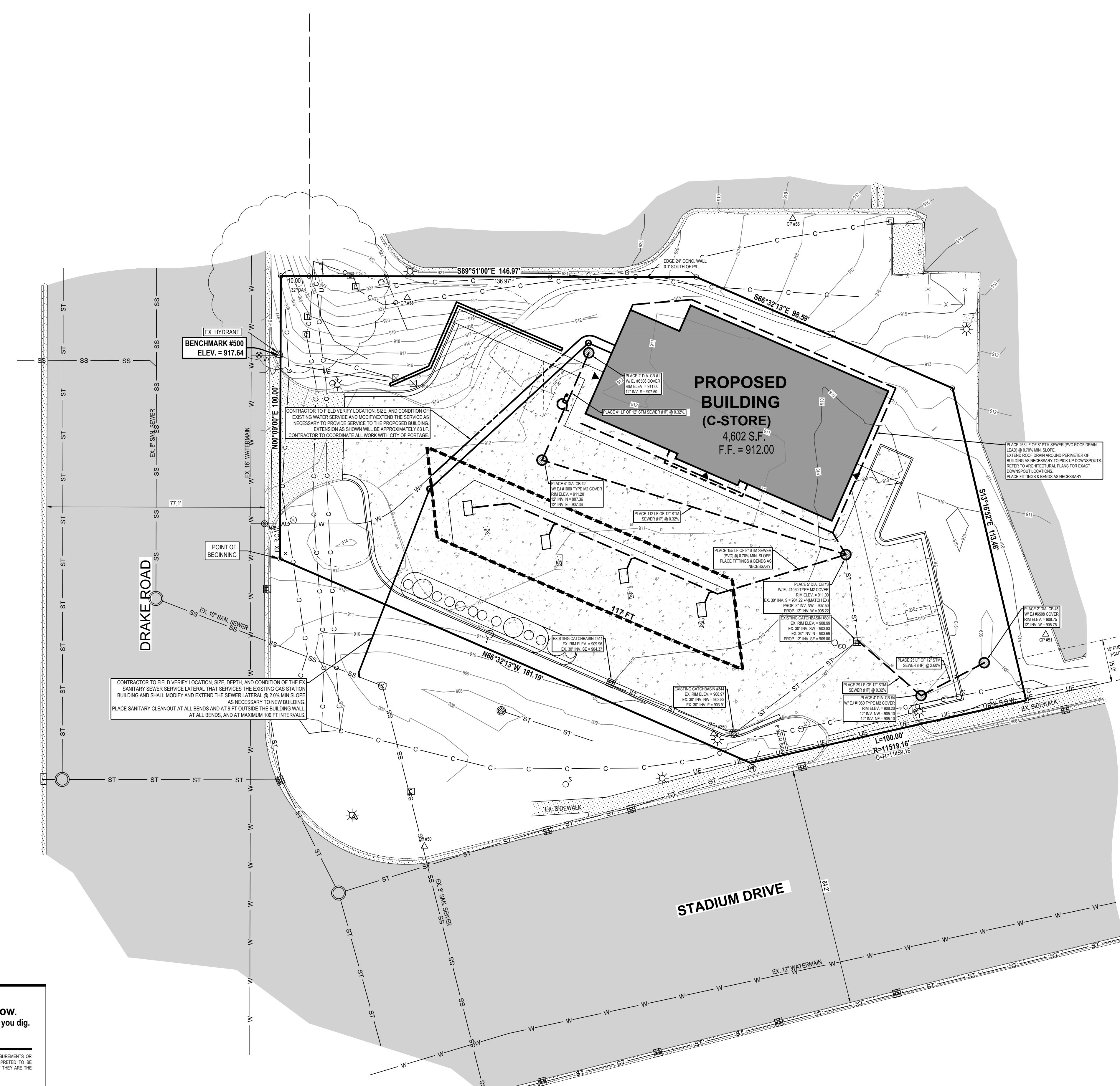
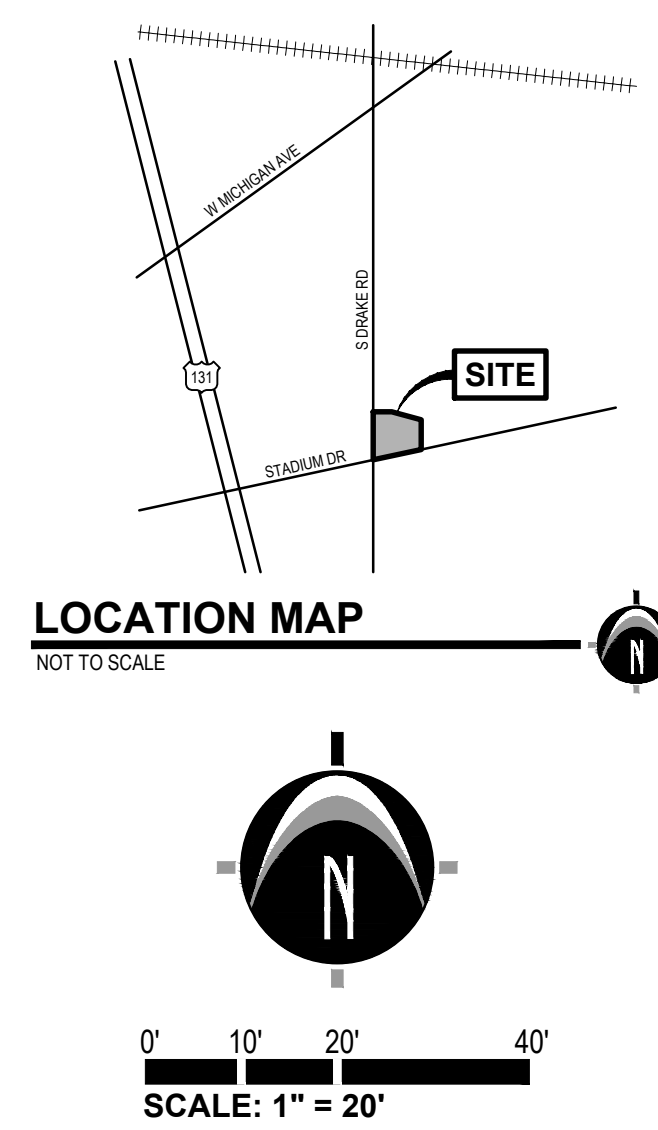
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CONSTRUCTION NOTES

STORM SEWER

- ALL CATCH BASINS SHALL BE PROVIDED WITH A MINIMUM 2' STAMP.
- ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED POLYETHYLENE PIPE (SLC/P) WITH WATER TIGHT JOINTS MEETING THE REQUIREMENTS OF THE MICHIGAN PLUMBING CODE, ASHOTO M-252 AND M-294, ASTM F-2306, F-2548, D-3212, F-477, F-2487, D-330 AND F-1417. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND ASTM D-2321 OR CONCRETE PIPE MEETING THE REQUIREMENTS OF ASTM C-76-III UNLESS OTHERWISE NOTED.
- IF UNDERDRAIN SHALL BE PERFORMED PIPE WITH SPOK, MEETING THE REQUIREMENTS OF ASHOTO M-252 AND THE GEOTEXTILE SHALL MEET ASHOTO M-288 REQUIREMENTS.
- ALL FLARED END SECTIONS SHALL BE CONCRETE, CONFORMING TO ASTM C-478 WITH BUTYL RUBBER GASKETED JOINTS WITH BOOT TYPE PIPE CONNECTIONS CONFORMING TO ASTM C-923 FOR ALL PIPE CONNECTIONS 2" DIAMETER AND SMALLER.
- ALL CATCH BASINS ARE DRAWN AND WILL BE STAKED AT CENTER OF CASTING.

WATERMAIN AND SANITARY SEWER

- ALL WATERMAIN AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE CITY STANDARD CONSTRUCTION SPECIFICATIONS, INCLUDING POST CONSTRUCTION VIDEO INSPECTION OF THE SANITARY SEWER SYSTEM.

GENERAL

- ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS INCLUDED FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MDOOT CONSTRUCTION AND MATERIALS SPECIFICATIONS (LATEST EDITION) AND THE ORDINANCES OF THE CITY, WHERE CONFLICTS OCCUR IN THE ABOVE, THE CITY SHALL BE THE GOVERNING AUTHORITY.
- SOIL BORINGS HAVE BEEN PERFORMED BY THE OWNER AND SHALL BE PROVIDED TO THE CONTRACTOR. VARIATION IN EXISTING SOIL CONDITIONS MAY IMPACT THE EARTHWORK QUANTITIES IF UNUSUAL SOILS ARE ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING WATER AND SEWAGE SYSTEM RESULTING FROM NON-COMFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE.
- ALL WORK, INCLUDING INSPECTIONS AND TESTING COST REQUIRED FOR REMOVAL, RELOCATION OR NEW CONSTRUCTION FOR PRIVATE OR PUBLIC UTILITIES, WILL BE DONE BY AND AT THE EXPENSE OF THE CONTRACTOR AND INCLUDED IN THE BID PRICE FOR THE VARIOUS WORK ITEMS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL NECESSARY PERMITS FROM THE CITY AND COUNTY AND ANY OTHER AGENCY FOR ALL WORK DONE BY THE CONTRACTOR.
- ANY DEFECTS IN THE CONSTRUCTION, INCLUDING MATERIALS OR WORKMANSHIP, SHALL BE REPLACED OR CORRECTED BY REMOVAL AND REPLACEMENT OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE BY THE CITY OR OWNER WITHOUT ANY ADDITIONAL COST TO THE CITY OR OWNER.
- ALL LAWN AREAS REMOVED OR DISTURBED SHALL BE REPLACED WITH TOPSOIL AND SOO WHERE NEEDED AND SHALL BE RESEED AND MULCHED IF SATISFACTORY RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.
- ALL PUNCH LIST AND DEFICIENCY WORK SHALL BE COMPLETED WITHIN 1 MONTH OF THE END OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FROM THE CITY BEFORE BEGINNING WORK WITHIN ANY PUBLIC STREET RIGHT-OF-WAY.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES.
- THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. CONTACT THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
- THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE REQUIRED WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES AS REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THE WORK LIMITS. THE CONTRACTOR SHALL FURNISH, ERECT, MAINTAIN AND SUBSEQUENTLY REMOVE SUCH ADDITIONAL TRAFFIC CONTROL DEVICES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION AS ARE REQUIRED ON THOSE STREETS WHICH ARE USED AS DETOURS, INCLUDING "ROAD CLOSED" SIGNS AND BARRICADES AT THE POINT WHERE THE ROAD IS CLOSED TO THROUGH TRAFFIC.
- THE CONTRACTOR SHALL PROTECT LOCATION OF ALL PROPERTY PINS AND BENCHMARKS.
- ALL WORK CONTEMPLATED SHALL AT ALL TIMES BE SUBJECT TO THE DIRECT INSPECTION OF THE CITY, OWNER AND THEIR REPRESENTATIVES. THE CITY AND OWNER RESERVES THE RIGHT TO HALT ALL CONSTRUCTION ACTIVITY FOR NON-COMFORMANCE OF PLANS, SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS.
- PRICES BID PER FOOT FOR ALL PIPES IS COMPACTED IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL SIGNS, BARRICADES AND SAFETY FENCES TO KEEP PEOPLE FROM ENTERING THE WORK AREA AND FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROLS SHALL BE COORDINATED WITH THE POLICE DEPARTMENT AND THE CITY.
- PROTECT ALL EXISTING TREES AND PLANTS. A PROTECTIVE BARRIER, FENCE, POST AND/OR SIGNS CLEARLY INDICATING LIMITS OF WORK/DISTURBANCE SHALL BE INSTALLED INDICATING NO TREE REMOVAL OR DISTURBANCES OUTSIDE LIMITS. THE CITY AND OWNER SHALL BE CONTACTED UPON DETERMINATION OF LIMITS IN THE FIELD.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENT ARE TO BE RESTORED COMPLETELY TO THE SATISFACTION OF THE CITY AND THE OWNER.
- NO PARKING OF CONTRACTOR OR CONTRACTOR EMPLOYEE'S VEHICLES ON ANY PUBLIC STREETS SHALL BE PERMITTED.
- ALL DISTURBED SIGNS, GUARDRAILS, MAIL BOXES, AND DRIVEWAYS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY AND THE OWNER.
- DUST CONTROL: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY SUCH AS CALCIUM CHLORIDE, WATER OR A MOTORIZED DUST FREE STREET SWEEPING DEVICE TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL ORDINANCES OF THE CITY, COUNTY, MDOE OR ANY OTHER GOVERNING AUTHORITY.
- ALL SEWERS, MANHOLES, JUNCTION CHAMBERS AND INLET BASINS MUST BE CLEANED BEFORE ACCEPTANCE BY THE CITY AND OWNER.
- IF MUD, SOIL OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY OR AS REQUIRED DURING THE WORK DAY.
- ADJUST TO GRADE OR RECONSTRUCT TO GRADE WORK SHALL INCLUDE THE REMOVAL AND REPLACEMENT OF ANY EXISTING CONCRETE PAVEMENT, DAMAGED PAVEMENT DOWELS OR OTHER SUCH LOAD TRANSFER DEVICES SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND THE ENGINEER.
- ALL EXISTING CASTINGS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD CHECKED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPLACEMENT.
- COMPACTED PREMIUM BACKFILL (MDOOT CLASS 3 SAND) WILL BE REQUIRED AT ALL FILL AREAS ON ANY STREETS WHERE REMOVAL AND REPLACEMENT OF PAVEMENT IS REQUIRED AND FOR ALL UNDERGROUND CONSTRUCTION UNDER ANY DRIVEWAY OR PAVEMENT INCLUDING THE 45 DEGREE ANGLE OF INFLUENCE FROM THE OUTSIDE EDGE OF PAVEMENT OR TOP OF CURB. COMPACTION TESTS SHALL BE REQUIRED EVERY 50 FEET UNDER PAVEMENT. PAVEMENT INCLUDES, BUT NOT LIMITED TO, ROADWAY SURFACES, SIDEWALKS, BIKE WAYS, DRIVEWAYS, SHOULDERS, BUILDINGS, ETC.
- NO BUILDING MATERIAL, EQUIPMENT, VEHICLES OR CHEMICALS SHALL BE STORED OR PLACED OUTSIDE LIMITS OF WORK/DISTURBANCE.
- STORMWATER POLLUTION PREVENTION ITEMS SHALL BE IN PLACE PRIOR TO COMMENCING CLEARING OPERATIONS, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.
- ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM DURING NIGHTTIME HOURS AND MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS.
- ALL TREES AND VEGETATION WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- CONTRACTOR TO FIELD VERIFY AND SCOPE EXISTING SANITARY AND SEWAGE LATERAL TO CONFORM TO CONVEYANCE, SLOPE, CONDITION AND PHYSICAL CONNECTION TO PUBLIC SANITARY SEWER MAIN PRIOR TO CONNECTION OF NEW LATERAL.
- PER WYOMING, THE ENGINEER SHALL VERIFY THE CONSTRUCTION OF THE DETENTION BASIN UPON COMPLETION. THE CERTIFICATION SHALL VERIFY WITH AS-BUILT SURVEY THE POND GRADING MEETS ALL RELEVANT GRADES, REQUIRED VOLUMES AND RELEASE RATES PER THE APPROVED STORM WATER DESIGN. THE SURVEY INFORMATION AND CERTIFICATION SHALL BE SENT TO THE CITY OF WYOMING ENGINEERING DEPARTMENT AND IS REQUIRED PRIOR TO RECEIVING BUILDING OCCUPANCY PERMIT.
- THE CONTRACTOR MUST OBTAIN A PLUMBING PERMIT FROM THE CITY OF WYOMING PRIOR TO BEGINNING ANY UTILITY WORK.
- A PRE-CON MEETING IS REQUIRED BETWEEN PUBLIC WORKS AND THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- AFTER CONSTRUCTION IS COMPLETE, ENGINEER REQUIRES AN ENGINEER'S STORMWATER CERTIFICATE AND AS-BUILT PLANS WITH THE FOLLOWING:
A) LOCATION(S) OF WATER SERVICE STOPBOSES
B) DISTANCES FROM SANITARY LATERALS TO THE NEAREST MANHOLE ALONG THE SANITARY SEWER AND LENGTH(S) OF THE LATERALS
C) SANITARY AND STORM SEWER SLOPES, INVERTS, RIM ELEVATIONS, AND PIPE LENGTHS
D) ELEVATION GRADE SHOTS, ESPECIALLY FOR ANY OVERLAND FLOOD ROUTES, TOPS OF BERMS, AND DRAINAGE SWALES.
- CONTRACTOR SHALL COLLECT AS-BUILT DATA FOR UTILITIES BEFORE BACKFILLING.

STRUCTURE INFORMATION

#	Structure Type	DIA.	Rim Elevation	Generic Notes	Size/Type/Direction	Invert Elevation
301	Catch Basin	5	908.99	CANNOT SEE S. SIDE	30" CPP (SW)	903.83
					30" CPP (N)	903.69
333	Miscellaneous Manhole	-	908.58	-	12" CONC (NNE)	901.62
					18" CONC (W)	899.52
344	Catch Basin	-	908.97	-	30" CPP (NW)	903.83
					30" CPP (E)	903.91
511	Catch Basin	-	909.96	-	30" CPP (SE)	904.37
530	Catch Basin	2	907.38	-	12" CONC (SE)	905.64
755	Catch Basin	5	909.63	CANNOT SEE N. SIDE	30" CPP (S)	904.95

SEAL:

PROJECT NO:
26200097
SHEET NO:
C-400
6 OF 8

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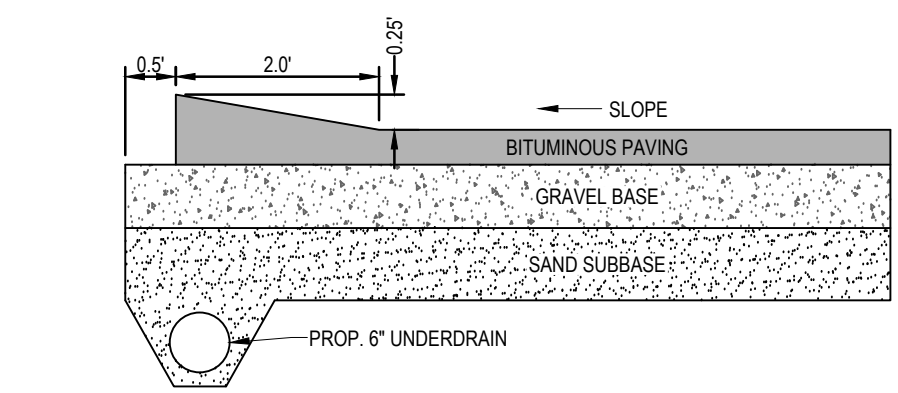
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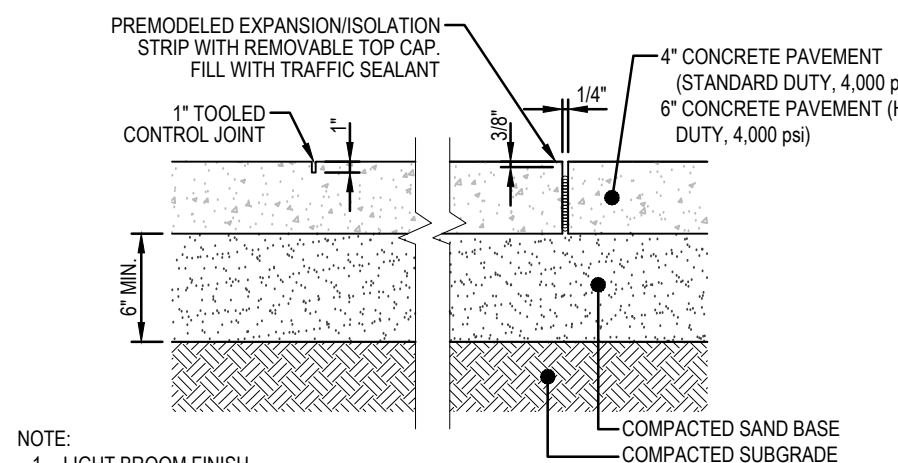
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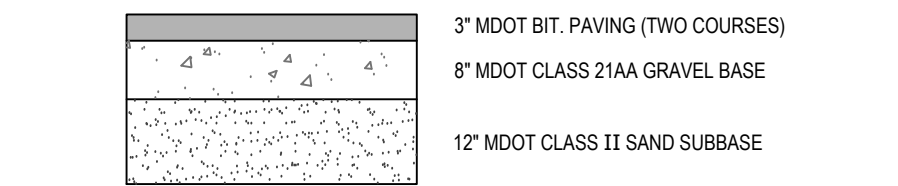


PRIVATE ROAD & SITE BITUMINOUS VALLEY GUTTER DETAIL
N.T.S.



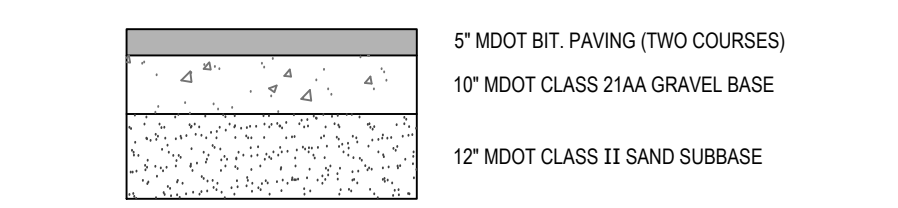
1. LIGHT BROOM FINISH
2. LOCATE CONTROL JOINTS AND EXPANSION JOINTS PER ACI STANDARDS
3. PANEL SIZE SHALL NOT EXCEED 8 FEET
4. PANELS SHALL BE KEPT AS SQUARE AS POSSIBLE WITH THE LENGTH NEVER EXCEEDING 1.25X THE WIDTH
5. AIR ENTRAINMENT - 7% ± 1%
6. SLUMP 4" ± 1"
7. REFER TO GEOTECHNICAL REPORT AND RECOMMENDATIONS FOR FINAL CONCRETE PAVING DETAILS

CONCRETE PAVEMENT DETAIL
N.T.S.



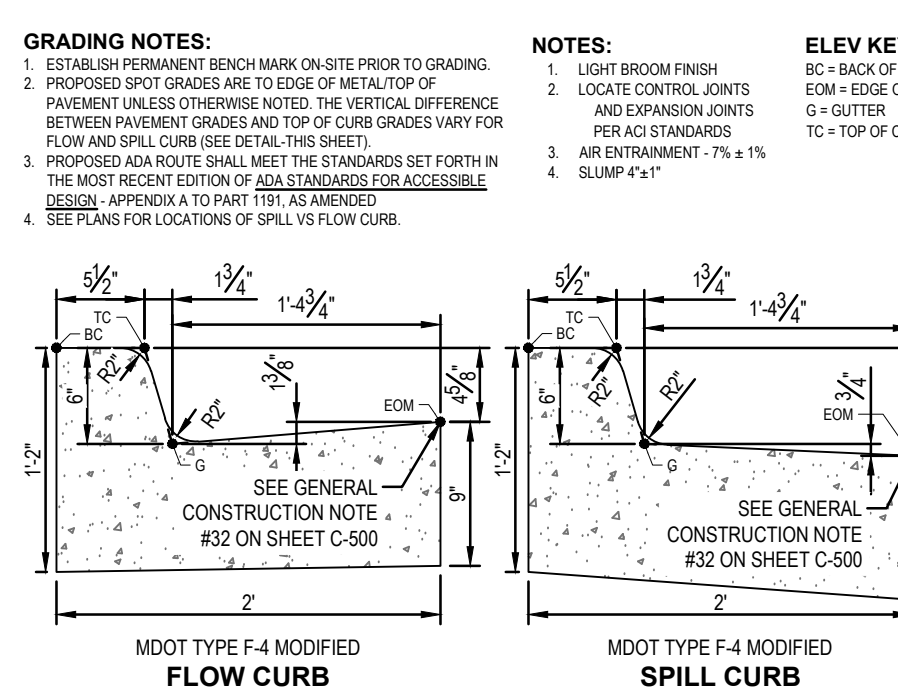
1. REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT DESIGN SPECIFICATION
2. HMA MIXTURE TO BE TIER I OR TIER II
3. BINDER GRADE TO BE A MINIMUM OF PG 58-28

STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL
N.T.S.

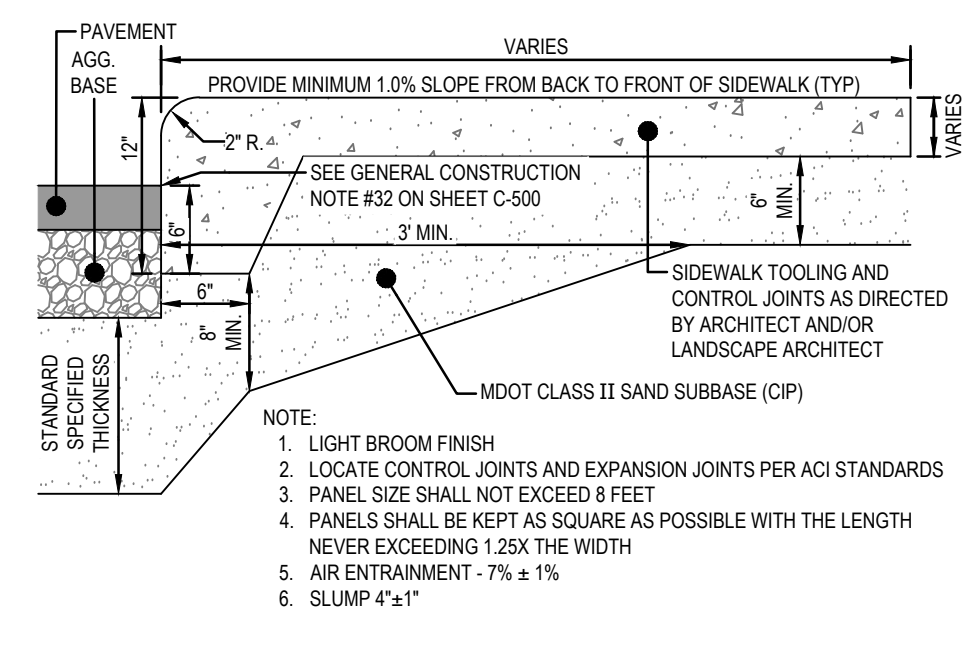


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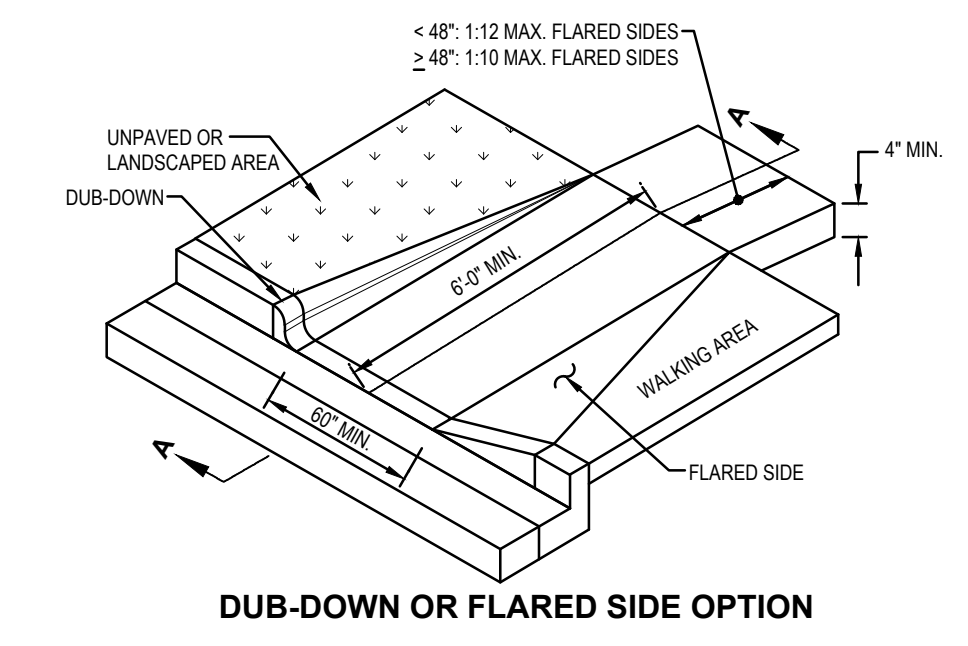
HEAVY DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL
N.T.S.



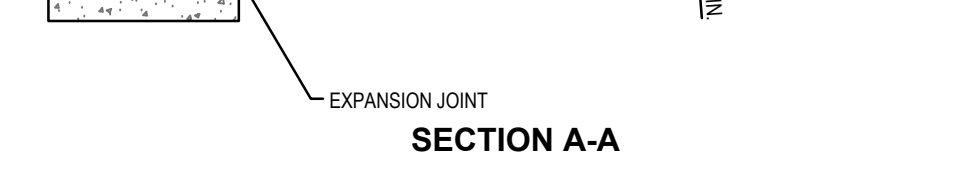
24" CONCRETE CURB AND GUTTER DETAIL
N.T.S.



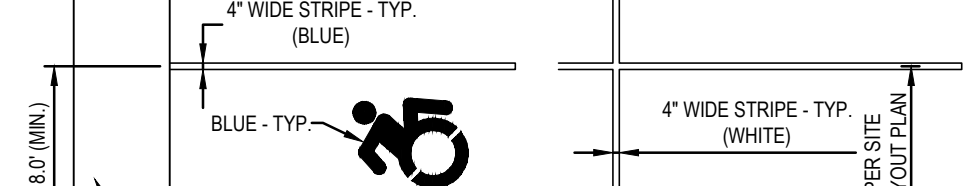
INTEGRAL CURB AND WALK DETAIL
N.T.S.



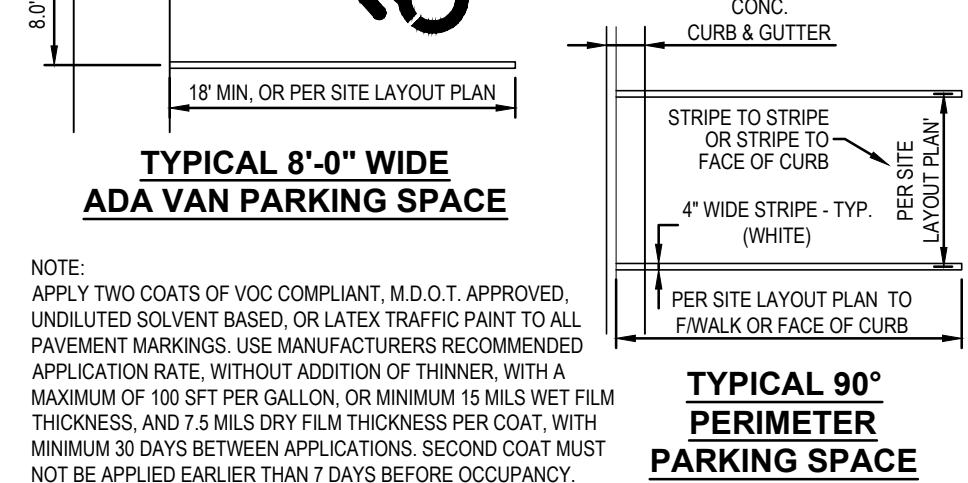
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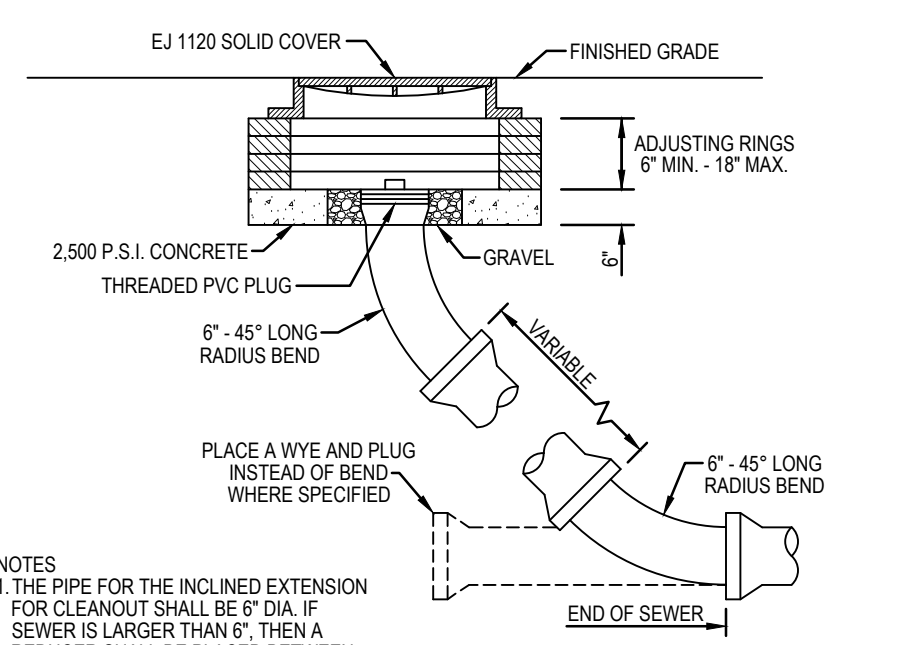
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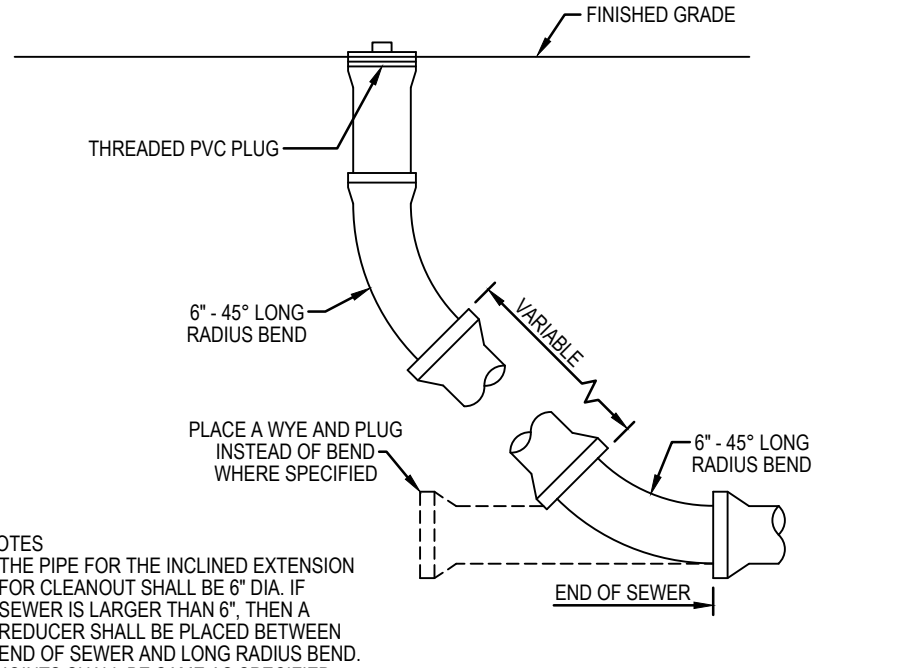
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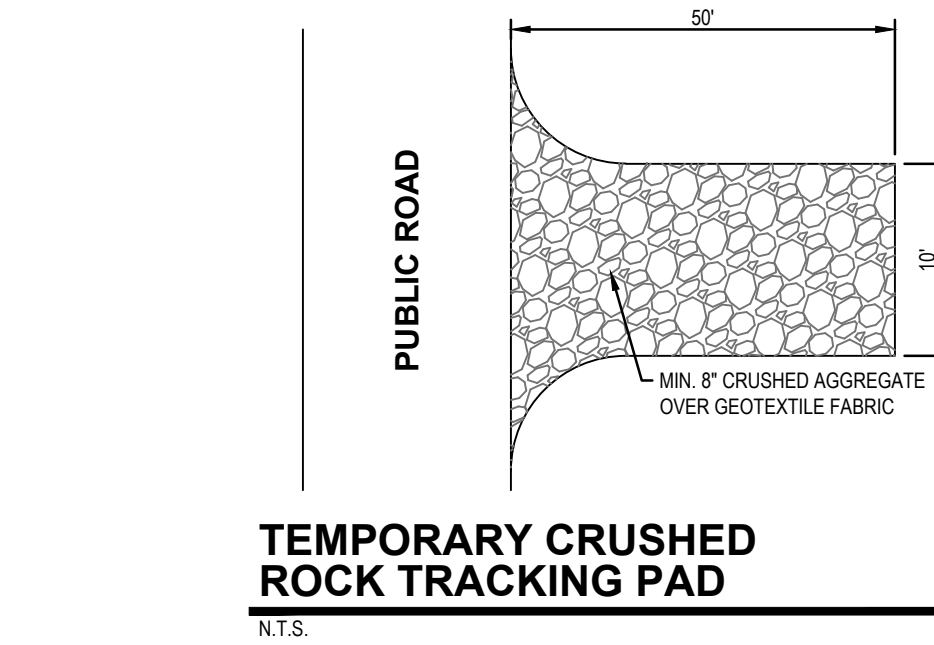
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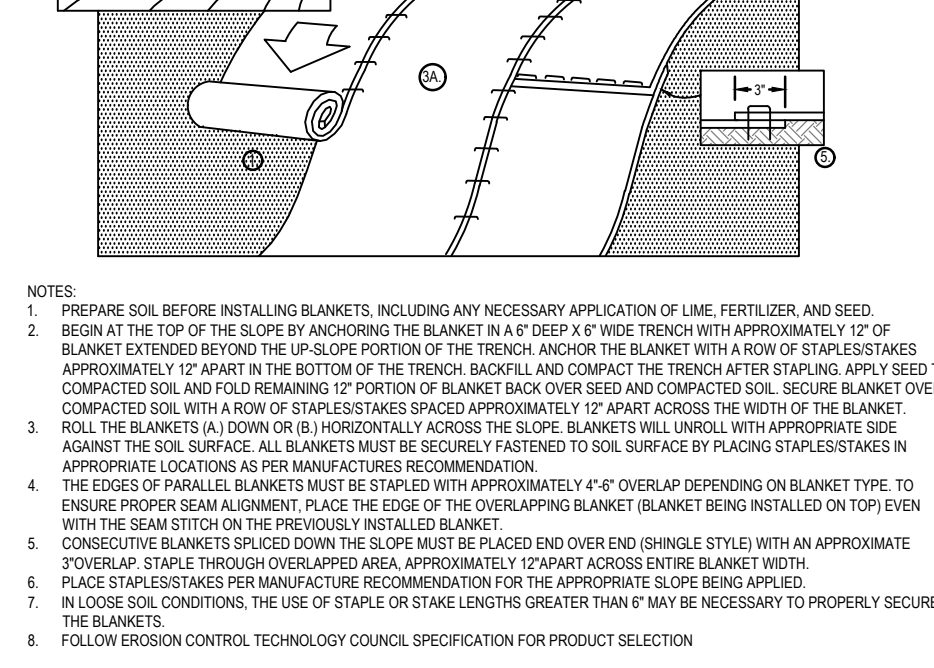
SEWER CLEANOUT IN PAVEMENT DETAIL
N.T.S.



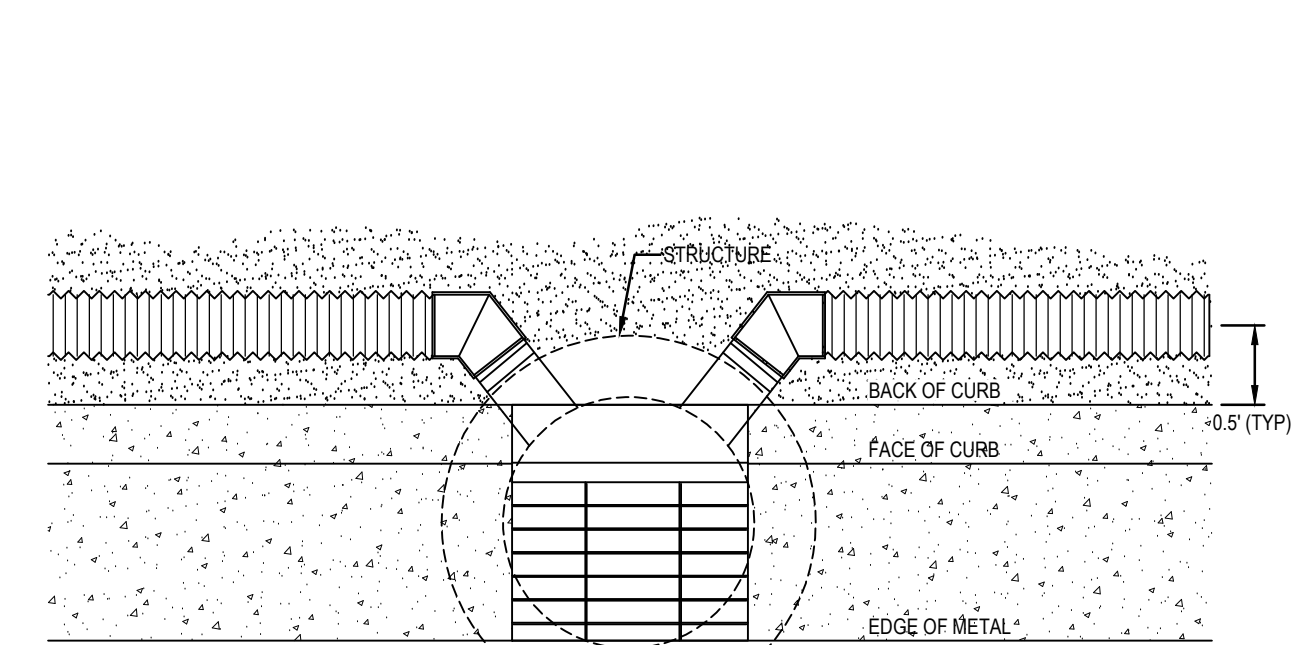
SEWER CLEANOUT IN GREENSPACE DETAIL
N.T.S.



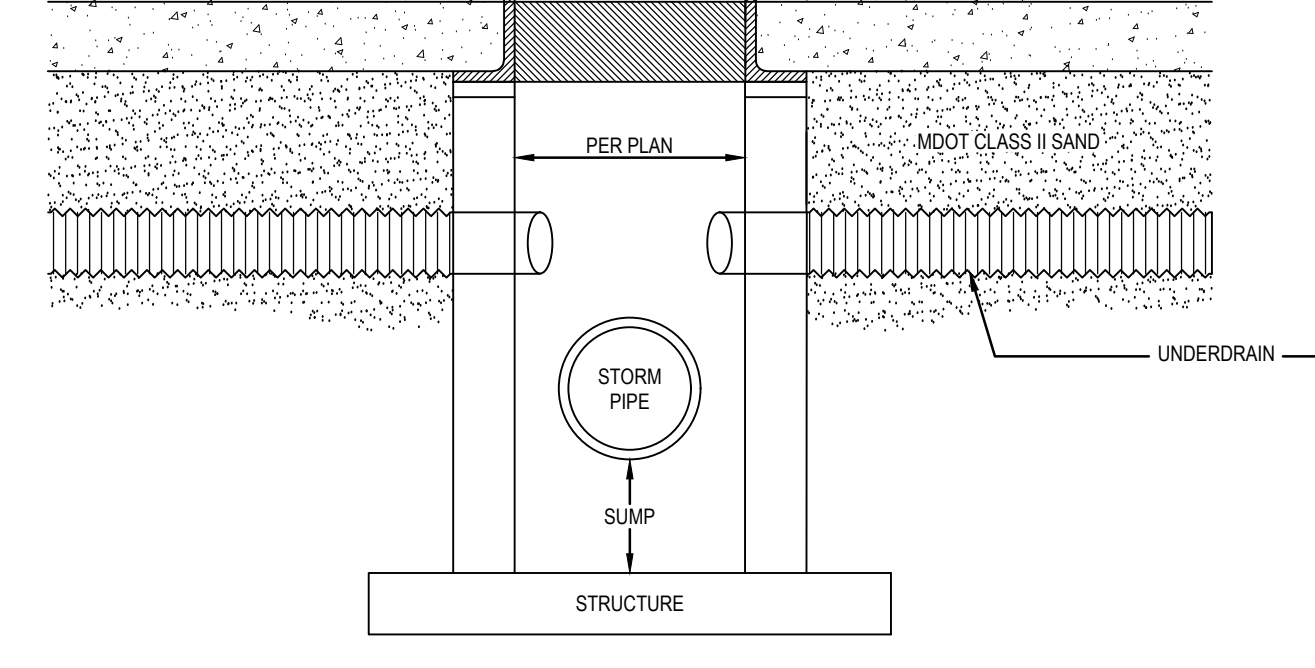
TEMPORARY CRUSHED ROCK TRACKING PAD
N.T.S.



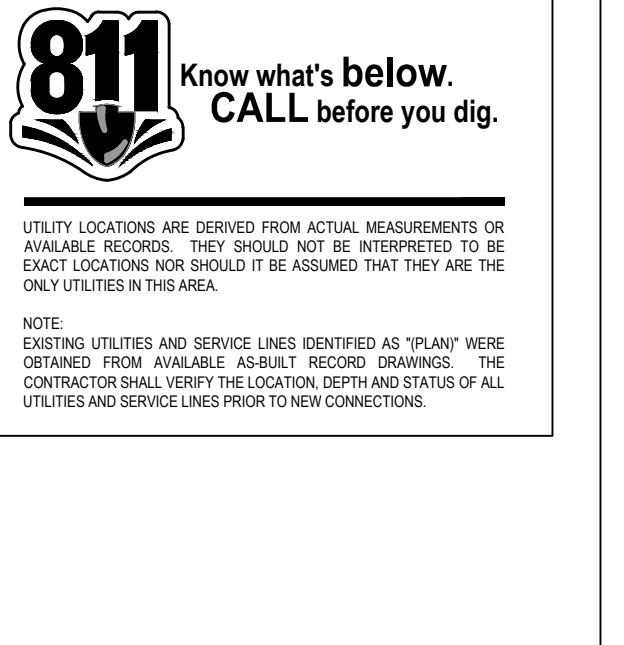
EROSION CONTROL BLANKET DETAIL
N.T.S.



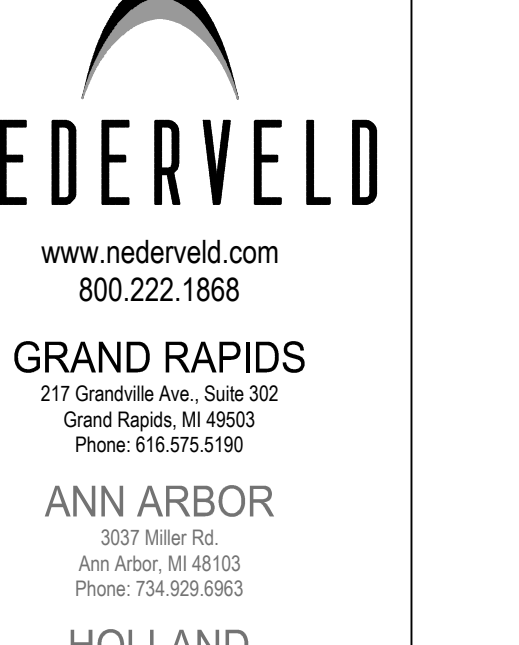
UNDER DRAIN AT CURB DETAIL
N.T.S.



SANITARY SEWER TRENCH AND BACKFILL DETAIL
N.T.S.

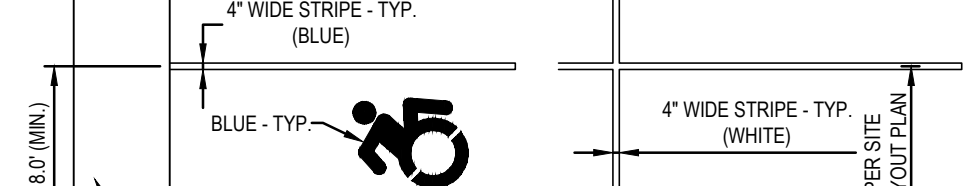


STORM SEWER TRENCH AND BACKFILL DETAIL
N.T.S.

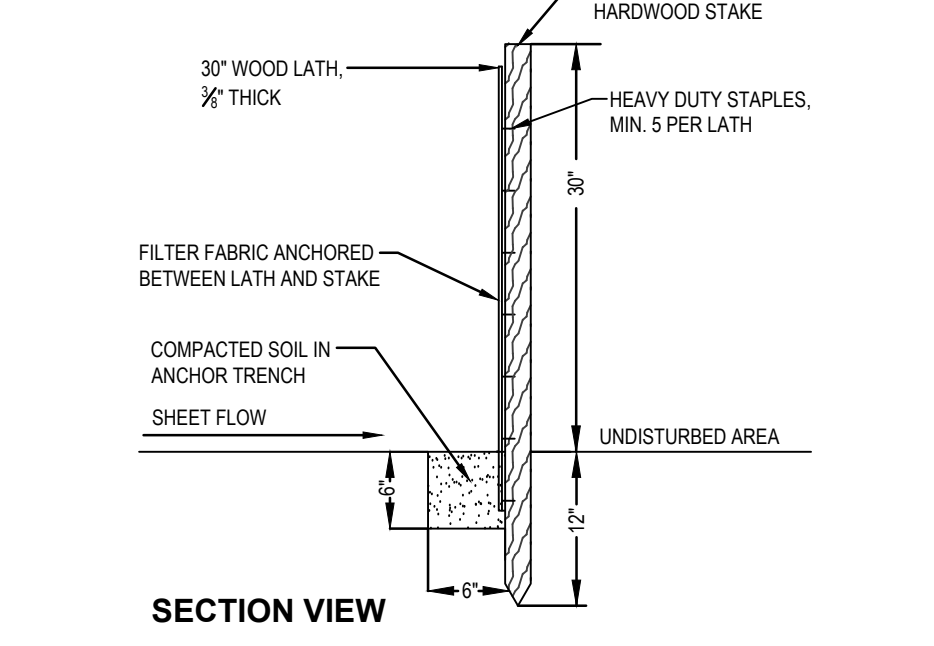


WATER MAIN TRENCH AND BACKFILL DETAIL
N.T.S.

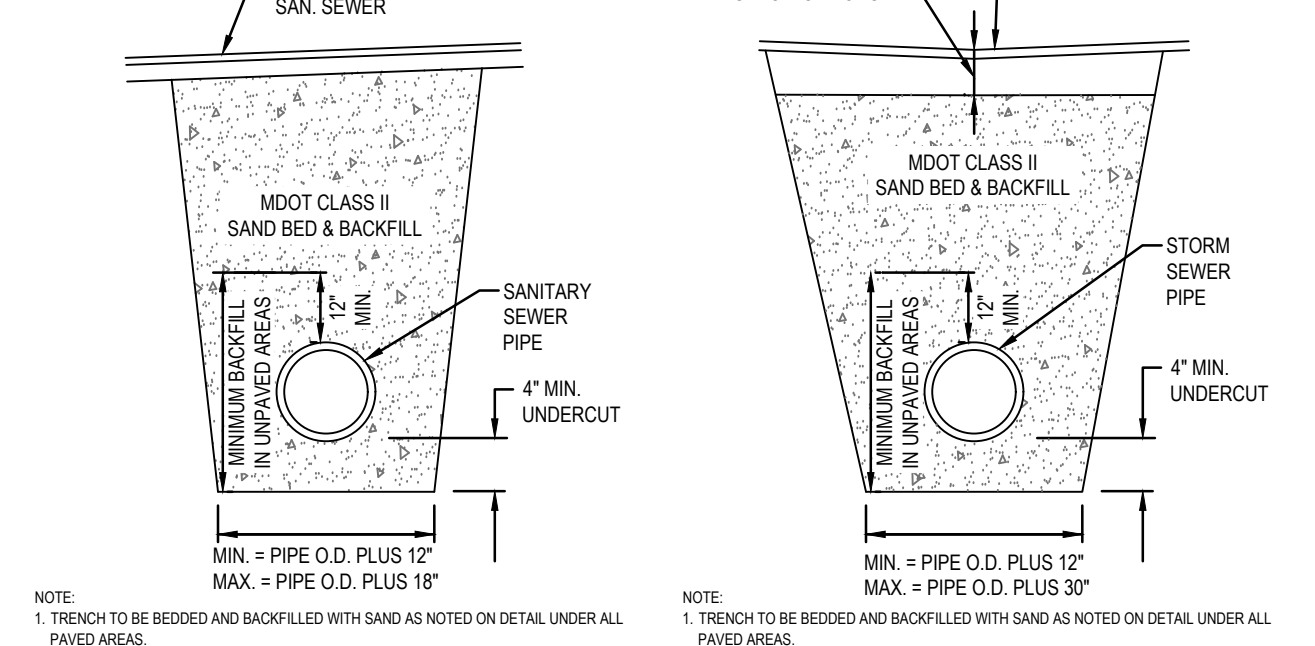
SIDEWALK CURB RAMP DETAIL
N.T.S.



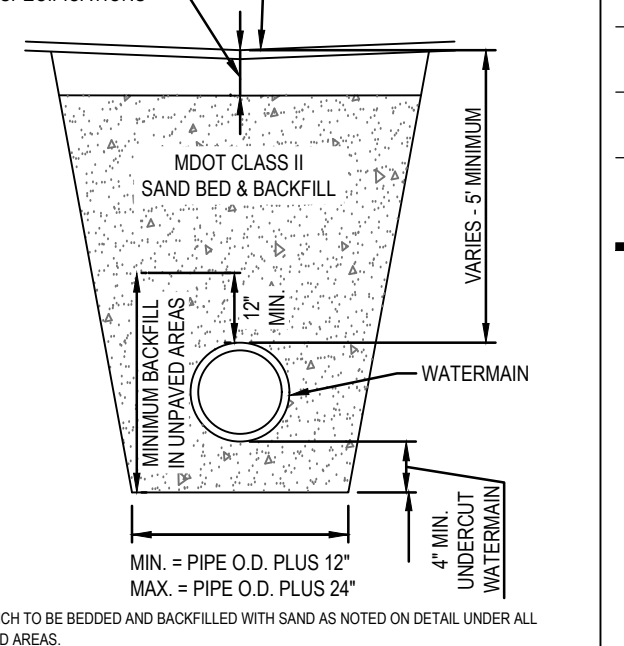
SIDEWALK CURB RAMP DETAIL
N.T.S.



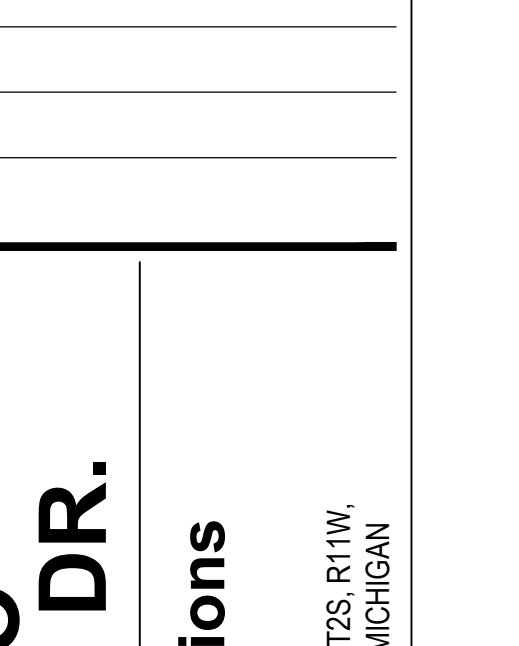
SILT FENCE DETAIL
N.T.S.



CONSTRUCTION NOTES



CONSTRUCTION NOTES



CONSTRUCTION NOTES

PARKING SPACE MARKING DETAILS
N.T.S.

CATCH BASIN PLACEMENT DETAIL
N.T.S.

FLEXSTORM INLET FILTER LITE DETAIL
N.T.S.

CONSTRUCTION NOTES

CONSTRUCTION NOTES

CONSTRUCTION NOTES

AGO - CITGO 4710 STADIUM DR.
Details & Specifications

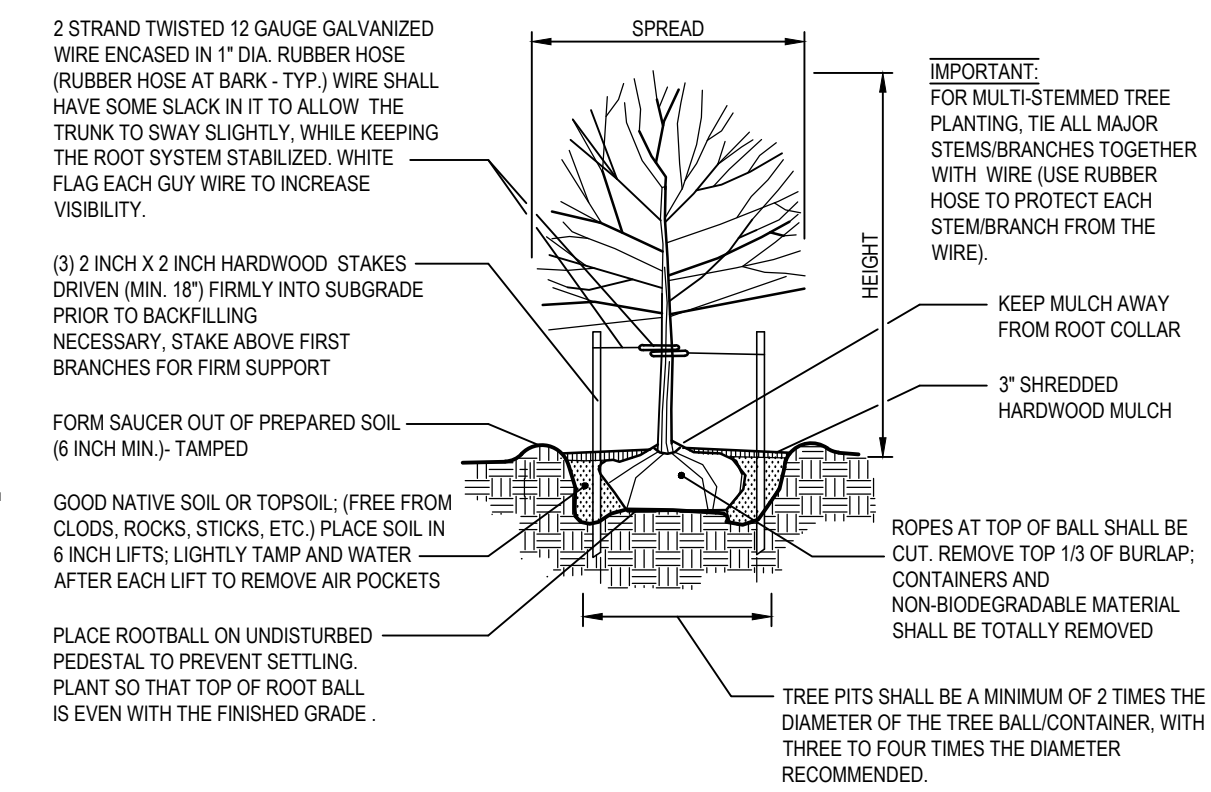
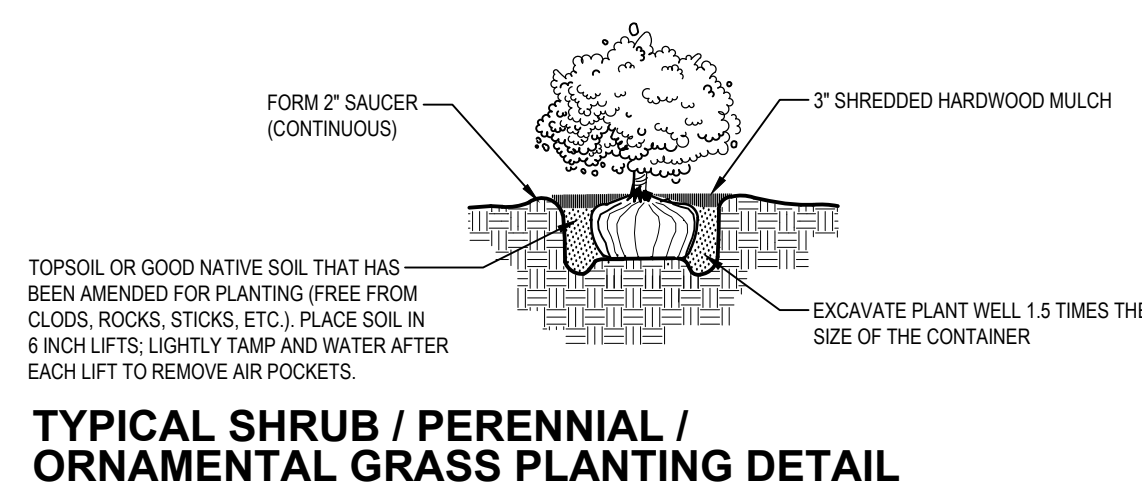
4710 Stadium Drive
PART OF THE NORTHWEST 1/4 OF SECTION 30, T2S, R11W,
CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

SEAL:

PROJECT NO:
26200997

SHEET NO:
C-500

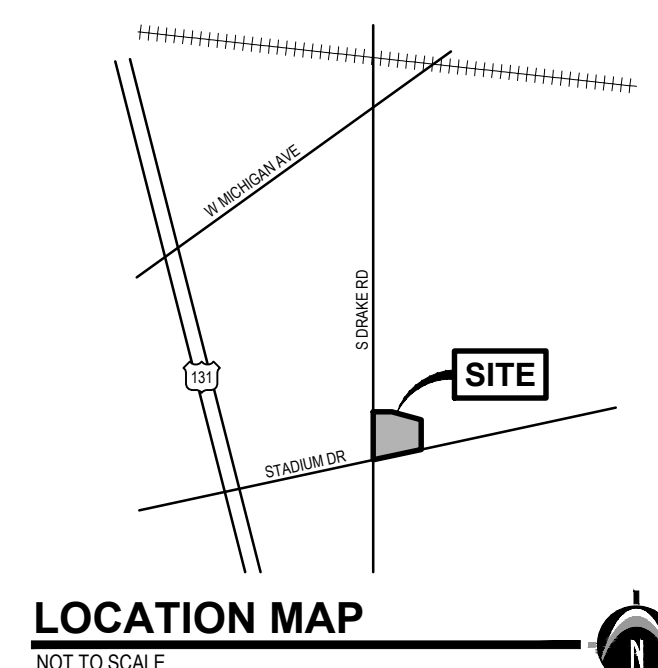
7 OF 8



BENCHMARKS

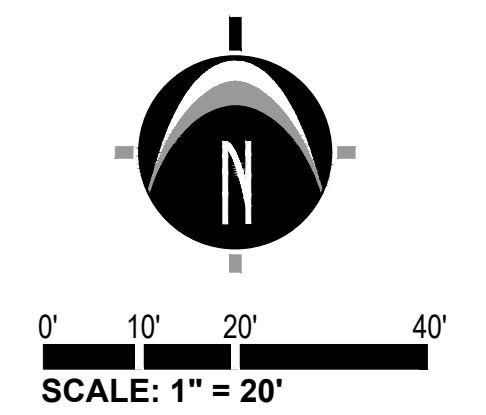
BENCHMARK #54 ELEV. = 909.83 (NAVD88)
Set benchmark on SE bolt of sign post/light pole. Located 64'± North of the centerline of Stadium Drive & 70'± East of the centerline of Drake Road.

BENCHMARK #500 ELEV. = 917.64 (NAVD88)
Set benchmark on SE flange bolt to hydrant. Located 229'± North of the centerline of Stadium Drive & 43.5'± East of the centerline of Drake Road.



LEGEND

- [Pattern] EXISTING BITUMINOUS
- [Pattern] EXISTING CONCRETE
- [Pattern] PROPOSED BITUMINOUS (STANDARD DUTY)
- [Pattern] PROPOSED BITUMINOUS (HEAVY DUTY)
- [Pattern] PROPOSED CONCRETE (STANDARD DUTY)
- [Pattern] PROPOSED CONCRETE (HEAVY DUTY)



LANDSCAPE NOTES

- PLANTING NOTES:**
- 1) ALL PLANT MATERIAL SHALL BE LOCALLY NURSERY GROWN NO. 1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER, LANDSCAPE ARCHITECT, AND/OR CONSTRUCTION MANAGER. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
 - 2) SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
 - 3) ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - 4) MAINTENANCE OF LANDSCAPING ITEMS, TREES, AND PLANTS SHALL BE PERFORMED BY THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS AND A NEAT, HEALTHY AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO.
 - 5) PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE, AND BACKFILL TO TOP OF ROOT BALL.
 - 6) REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
 - 7) FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION. ALL PLANTING BEDS SHALL BE EDGED WITH 6" X 12" GAUGE STEEL LANDSCAPE EDGING.
 - 8) LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXIST, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.
 - 9) PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.

TOPSOIL AND TURF NOTES:

- 1) WHEREVER GROUND IN ITS NATURAL STATE HAS BEEN DISTURBED, APPROVED LANDSCAPING OR GRASS SHALL BE FULLY INSTALLED, AND ESTABLISHED WITHIN A REASONABLE PERIOD OF TIME, BUT NO LONGER THAN ONE GROWING SEASON (UNLESS OTHERWISE NOTED AND APPROVED).
- 2) DURING EXCAVATION, GRADING, AND INSTALLATION OF REQUIRED LANDSCAPING, ALL SOIL EROSION AND SEDIMENTATION CONTROL REGULATIONS SHALL BE STRICTLY FOLLOWED AND COMPLIED WITH.
- 3) ALL LAWN AREAS SHALL RECEIVE SOD OR HYDROSEED. TURF SHALL BE INSTALLED ON TOPSOIL UNLESS APPROVED OTHERWISE. DO NOT PLANT UNTIL ACCEPTANCE OF FINISH GRADE.
- 4) SOD SHALL BE GROWN ON TOPSOIL UNLESS APPROVED OTHERWISE. SOD SHALL BE 2 YEARS OLD AND STRONGLY ROOTED. PLACE SOD TIGHTLY WITH NO GAPS AND WITH GRASS IN SAME DIRECTION. SEAMS OF SOD SHALL BE STAGGERED IN A RUNNING BOND PATTERN. SOD SHALL BE WATERED IMMEDIATELY TO AVOID DRYING OUT. DO NOT INSTALL SOD UNTIL ACCEPTANCE OF FINISH GRADE AND IRRIGATION SYSTEM IS OPERATING PROPERLY UNLESS DIRECTED IN WRITING TO DO OTHERWISE. FINISH ROLL SOD WITH A WATER FILLED LAWN ROLLER, ROLL PERPENDICULAR TO LENGTH OF SOD.
- 5) TURF SHALL BE INSTALLED ON A MIN. OF 3"-4" OF LIGHTLY COMPACTED APPROVED TOPSOIL. TOPSOIL SHALL BE FERTILE, SCREENED, FRAGILE TOPSOIL FREE OF STONES 1/2" IN DIA. AND LARGER, ROOTS, STICKS, OR OTHER EXTRANEOUS MATERIAL INCLUDING NOXIOUS PLANTS. PH BETWEEN 6.0 AND 6.5, SALTS 500 PARTS PPM, ORGANIC CONTENT 3% MIN. DO NOT INSTALL TOPSOIL UNTIL APPROVED BY OWNER/C.M. TOPSOIL SHALL BE FINE GRADED TO A SMOOTH FINISH, FREE OF LUMPS AND DEPRESSIONS.
- 6) ALL LANDSCAPE ISLANDS WITHIN PARKING LOTS SHALL BE BACK FILLED WITH TOPSOIL TO A DEPTH OF 18" MIN.

IRRIGATION NOTES:

- 1) ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATION SYSTEM. THE G.C. SHALL BE RESPONSIBLE FOR RETAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE DESIGN MUST SHOW HOW THE SYSTEM TIES INTO THE BUILDING AND MUST SHOW ALL OF THE NECESSARY EQUIPMENT FOR A COMPLETE SYSTEM. THE G.C. SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

LANDSCAPE CALCULATIONS

TREE CANOPY REQUIREMENTS - 50-8.4.B

ONE (1) TREE PER ACRE WITH ONE (1) TREE MINIMUM	
SITE = 37,000 SQ. FT. (+/- 0.78 AC)	
REQUIRED: 1 TREE	PROPOSED: 1 TREE & 1 TREE EXISTING

PARKING AND LOADING PERIMETER - 50-8.4.C

ARCHITECTURAL AND LANDSCAPE SCREEN BETWEEN PARKING/LOADING AND STREET ROW	
18.0' ALONG STADIUM DRIVE	
REQUIRED: ONE (1) TREE & FOUR (4) SHRUBS	PROPOSED: ONE (1) TREE & FOUR (4) SHRUBS
18.0' ALONG SOUTH DRAKE ROAD	
REQUIRED: ONE (1) TREE & FOUR (4) SHRUBS	PROPOSED: SIX (7) SHRUBS

PARKING AND LOADING INTERIOR - 50-8.4.D

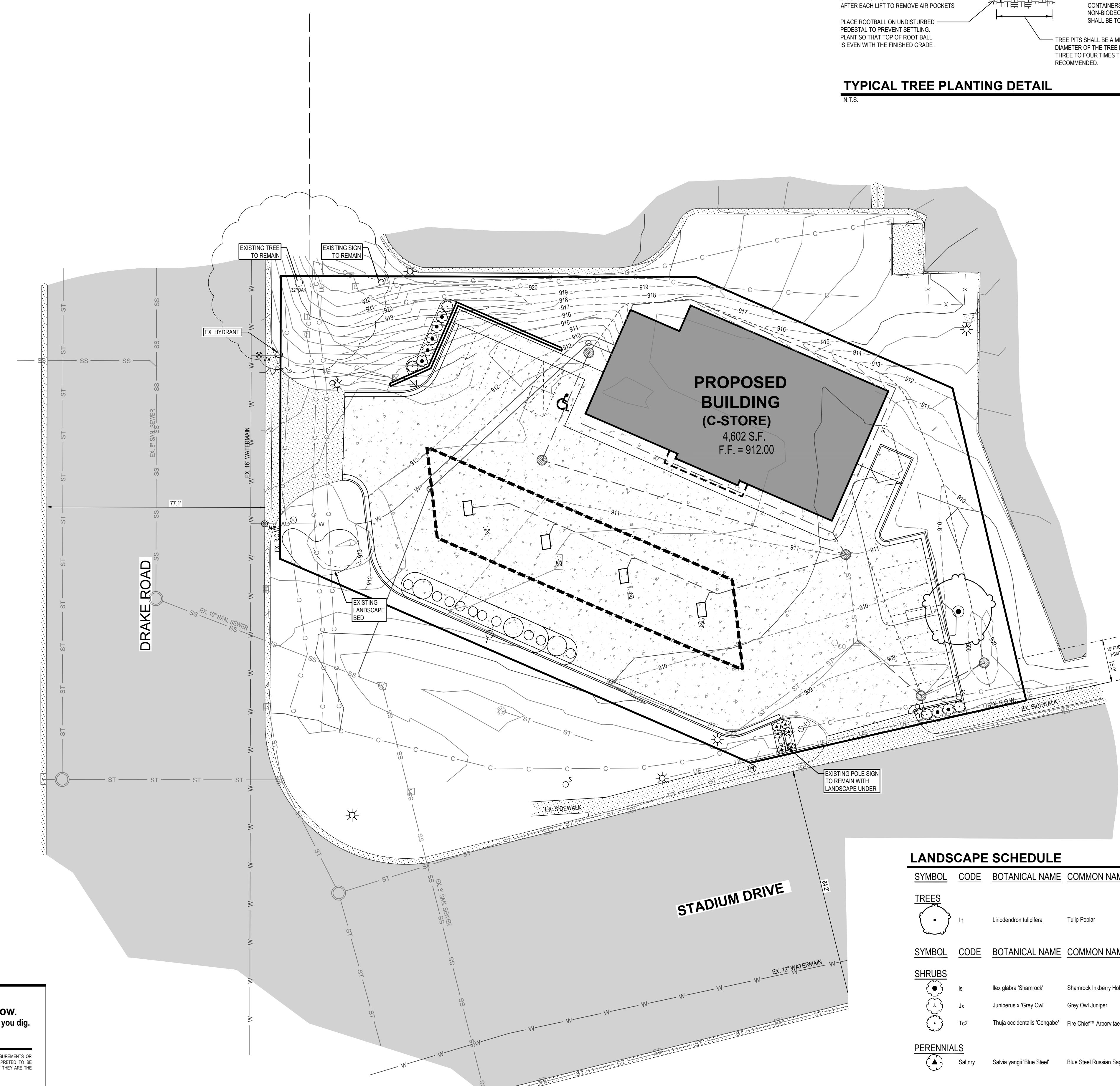
PARKING LOTS WITH 30 OR MORE SPACES	
REQUIRED: N/A	PROPOSED: N/A

SIDE AND REAR YARD LANDSCAPE SCREENING - 50-8.4.E

WHEN LOCATED ADJACENT TO RESIDENTIAL USES, OPEN SPACE, PARK, OR PRESERVE	
REQUIRED: N/A	PROPOSED: N/A

LANDSCAPE SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES					
[Symbol]	Lt	Liriodendron tulipifera	Tulip Poplar	2.5" Cal.	1
SHRUBS					
[Symbol]	Is	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	#7	7
[Symbol]	Jx	Juniperus x 'Grey Owl'	Grey Owl Juniper	#5	1
[Symbol]	Tc2	Tuja occidentalis 'Congoabe'	Fire Chief™ Arborvitae	#7	4
PERENNIALS					
[Symbol]	Sal nry	Salvia yangii 'Blue Steel'	Blue Steel Russian Sage	#3	6



811 Know what's below. CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANT" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

NEDERVELD
www.nederveld.com
800.222.1868

GRAND RAPIDS
217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.275.5190

ANN ARBOR
3037 Miller Rd.
Ann Arbor, MI 48113
Phone: 734.929.6963

HOLLAND
730 Chicago Dr.
Holland, MI 49423
Phone: 616.393.0449

PREPARED FOR:
American Gas & Oil, Inc.
Attention: Jason Berris

440 West Division
PO Box 247
Sparla, MI 49345
Phone: 616.887.0956

REVISIONS:

Title: Preliminary Concept Plan	Checked: SW	Date: 02/13/26
Drawn: SW	Checked: SW	Date: 03/11/26
Title: Site Plan	Checked: SW	Date: 03/23/26
Drawn: SW	Checked: SW	Date: 04/02/26
Title: Site Plan - Special Use Submittal	Checked: SW	Date: 04/02/26
Drawn: SW	Checked: SW	Date: 04/02/26

AGO - CITGO
4710 STADIUM DR.

Landscape Plan

4710 Stadium Drive
PART OF THE NORTHWEST 1/4 OF SECTION 30, T2S, R11W,
CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

SEAL:

STATE OF MICHIGAN
LICENCED PROFESSIONAL ENGINEER
STEVEN L. WITTE
ENGINEER
No. 46769

PROJECT NO:
26200097

SHEET NO:
L-100
8 OF 8

AGO - CITGO GAS STATION

4710 Stadium Drive

Project Overview:

American Gas & Oil owns the existing car wash and gas station located at 4710 Stadium Drive. The property is zoned CC, Community Commercial, and covers approximately 0.78 acres.

American Gas & Oil is proposing to demolish the existing buildings and pavement on the site and reconstruct the site as a new gas station and convenience store. No car wash will be provided on the reconstructed property. The new gas station/c-store building will be approximately 4,602 sf in size.

The general layout of the site will remain as it currently exists. Access to the site will be via the existing driveways off Stadium Drive and Drake Road. The fuel islands and canopy over the fuel islands will be reconstructed in a similar location. The building will be reconstructed further north than the existing building, with no drive aisle provided behind the building.

A total of approximately 12 parking spaces will be provided, in addition to the 8 additional parking spaces provided at the fuel islands themselves.

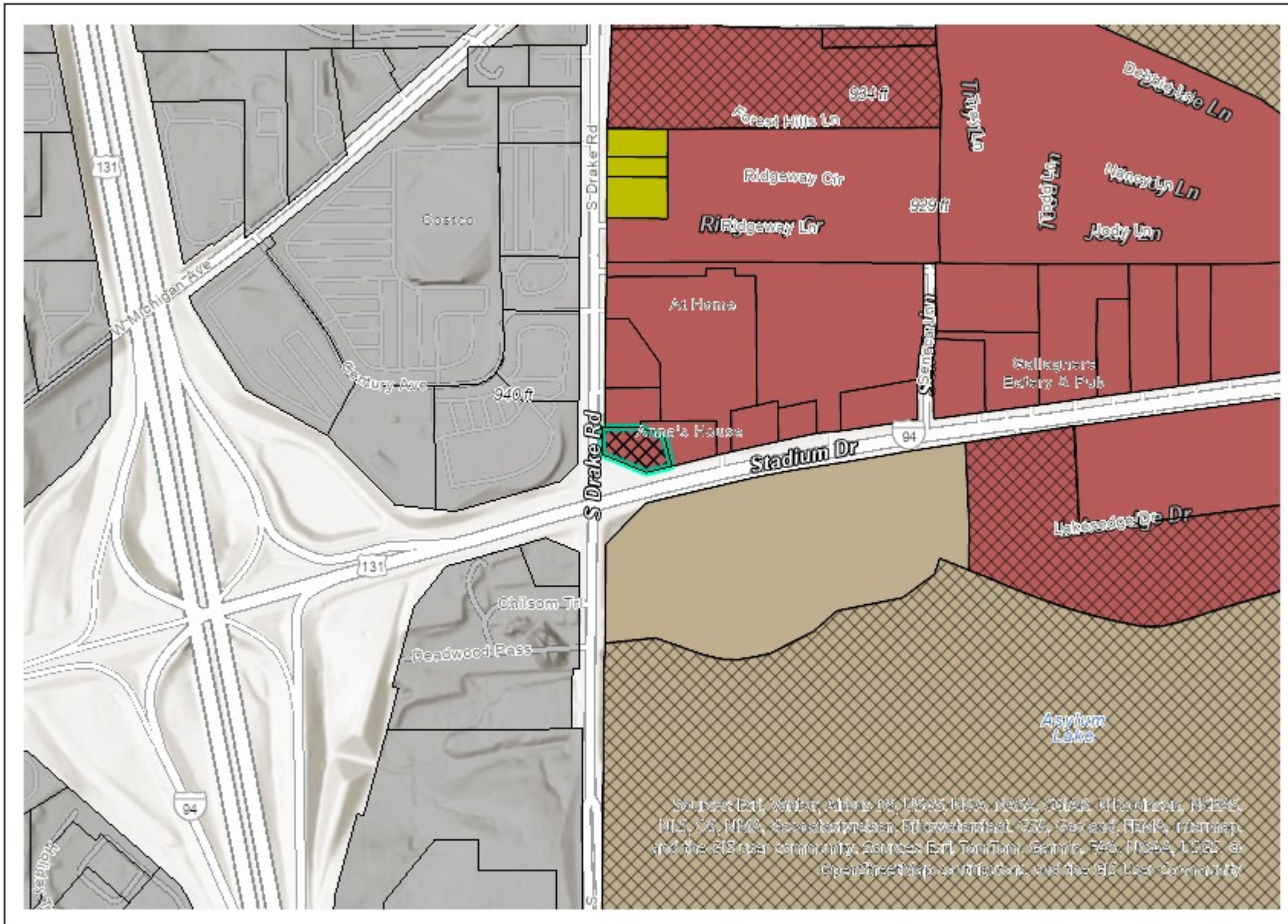
The new building will utilize the existing utility services that service the existing buildings. Storm water runoff will be collected by on-site catchbasins and will be detained/retained as required by the city. Note that the proposed impervious area is very similar to the existing impervious area (net gain of only 342 sf +/-). The final storm sewer management design will be subject to the review and approval of the city engineer.

As part of the project, the existing fuel tank and fuel system will be removed and replaced with a new fuel tank and system that is fully compliant with current standards and specifications.

Landscaping will be provided on the site, as required by the ordinance.

The project will be completed in one phase, with the work commencing in the Fall of 2026 or Spring of 2027, pending city and agency approvals/permits. It is anticipated that the new store will be open in 2027.

P.C. # 2026.04 - 4710 Stadium Drive
 Special Use Permit - Rebuild a New Gas Station with a Convenience Store

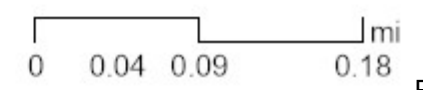


Current Land Use

- County Parcels
- Subject Property
- Subject Property
- Other Property
- Tax Exempt

Property Class

- Commercial
- Vacant
- Residential

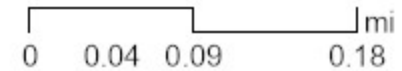


P.C. # 2026.04 - 4710 Stadium Drive
Special Use Permit - Rebuild a New Gas Station with a Convenience Store



Aerial View

-  Subject Property
-  Other Property



Year 2026	Project Address	Project Description	Applicant	Property Owner	Checklist App. Received	Checklist App. Meeting	Checklist Approval Date	Date Site Plan Rec.	Fee	Committee Meet. Date	Design Review	Site Plan Review Status	Final Site Plan Approval Date	Final Inspect.	Process Issues
Site Plan Review															
PSP26-001	4515 Green Acres Drive	Two Building Additions (Kalamazoo Protestant Reformed Church)	Kenneth Feenstra	Kalamazoo Protestant Reformed	12/4/2025	1/7/2026	1/9/2026	#####	\$ 520.00	#####		Under Review			
PSP26-002	436 W Willard Street	Pave Existing Gravel Lot (Clark Logic)	AR Engineering	Clark Logistics Group LXI LLC	6/10/2025	7/16/2025	7/18/2025	#####	\$ 520.00	#####		Under Review			
PSP26-003	3616 Stadium Drive	Site Redevelopment for a New Car Dealership (LaFontaine Automotive Group Mazda)	LAG Stadium Dr LLC	LAG Stadium Dr LLC	9/9/2025	10/15/2025	10/17/2025	#####	\$ 520.00	#####		Under Review			
PSP26-004	3718 Stadium Drive	Building Addition and Site Work for a Car Dealership (LaFontaine Automotive Group Mercedes-Benz)	LAG Stadium Dr LLC	LAG Stadium Dr LLC	9/9/2025	10/1/2025	10/3/2025	#####	\$ 520.00	#####		Under Review			
PSP26-005	1617 N Drake Road	Phase I: Tree Clearing for Youth Sports Complex (Westgate Sports Complex)	Westgate 131, LLC	Westgate 131, LLC	1/26/2026	2/11/2026	2/13/2026	#####	\$ 635.00	4/8/2026	NFP	Under Review			
PSP26-006	918 Riverview Drive	Site Redevelopment for a New Gas Station (7-11/Speedway)	CESO, Inc	Midwest States, LLC	2/6/2026	2/18/2026	2/20/2026	#####	\$ 520.00	#####		Under Review			
PSP26-007	817 S Westnedge Avenue	Change of Use to a Commercial Kitchen	Mohammad Abbas	Mohammad Abbas	1/27/2026	2/18/2026	2/20/2026	#####	\$ 312.00	#####	HDC	Under Review			
PSP26-008	1617 N Drake Road	Phase II: Indoor Youth Sports Complex Development	Westgate 131, LLC	Discover Kalamazoo	1/26/2026	2/11/2026	2/13/2026	4/1/2026	\$ 635.00	#####	NFP	Under Review			
PSP26-009	1204 E Alcott Street	Demolition, New Regulation Building, and Site Work (Consumers Energy)	Consumers Energy	Consumers Energy	2/6/2026	3/4/2026	3/6/2026	4/6/2026	\$ 520.00	5/6/2026		Under Review			
PSP26-010	825 Porter Street (includes 901 Pitcher)	New Mixed-Use Development (825 Porter) and Parking Lot (901 Pitcher)	Hurley & Stewart	City of Kalamazoo Brownfield	2/6/2026	3/4/2026	3/6/2026	#####	\$ 520.00	#####		Under Review			