

Agenda

Planning Commission

City of Kalamazoo



Thursday, June 4, 2026

7:00 PM

City Commission Chambers – 241 West South Street

A. CALL TO ORDER/ROLL CALL

B. ADOPTION OF FORMAL AGENDA

C. APPROVAL OF MINUTES

1. Approval of Minutes from the Planning Commission meeting on May 7, 2026

D. COMMUNICATIONS AND ANNOUNCEMENTS

E. PUBLIC HEARINGS

F. DISCUSSION/ACTION ITEMS

1. P.C. #2026.05 - Site Plan Review for a new office building at 4755 Campus Drive in the WMU Business, Technology and Research Park

G. REPORTS

1. City Planner's Report
2. Site Plan List

H. PUBLIC COMMENTS

I. CITY COMMISSION LIAISON COMMENTS

J. PLANNING COMMISSIONER COMMENTS

K. ADJOURNMENT

City of Kalamazoo
PLANNING COMMISSION
Meeting Minutes
May 7, 2026
DRAFT

Members Present: Wendell Tolber; Thomas Kostrzewa; Roland Bissonnette; Diego Sandoval; Mitchell Curtiss

Members Excused: Michelle Audette-Bauman; Zack Wilson; Drew Duncan; Sakhi Vyas

City Staff: Bobby Durkee, Assistant City Planner; Beth Cheeseman, Executive Administrative Assistant; Charlie Bear, Assistant City Attorney

A. CALL TO ORDER/ROLL CALL

Commissioner Curtiss called the meeting to order at 7:00 p.m.

Planner Durkee proceeded with roll call and determined there was a quorum.

B. ADOPTION OF FORMAL AGENDA

Planner Durkee announced there was a minor update to the agenda. The site plan list was added after it was initially published.

Commissioner Bissonnette, seconded by Commissioner Kostrzewa, moved approval of the May 7, 2026 agenda as amended. With a voice vote, the motion carried unanimously.

C. APPROVAL OF MINUTES

Commissioner Tolber, seconded by Commissioner Sandoval, moved approval of the April 8, 2026 minutes as presented. With a voice vote, the motion carried unanimously.

D. COMMUNICATIONS AND ANNOUNCEMENTS

Planner Durkee shared that they are winding down on Imagine Kalamazoo 2035 (IK2035) events. He thanked Planning Commissioners for attending those events with the community.

E. PUBLIC HEARINGS

1. P.C. # 2026.04 — Special Use Permit request to redevelop the property with a new gas station and convenience store at 4710 Stadium Drive.

During the staff presentation, Planner Durkee showed photos, and zoning/aerial maps of the existing and/or proposed gas station and of the area. He explained that there is one approach off Stadium Drive and one approach off Drake Road. Those approaches will not be changed. Planner Durkee stated that those are Michigan Department of Transportation (MDOT) and county right of ways. He said that part of the goal of redevelopment is to centralize vehicle movement on the site. The existing car wash will be removed and

not replaced. Planner Durkee shared that the existing use has a license to sell beer and wine but not liquor. That will continue with the new gas station. He mentioned that the building would be set back further on the site, but the canopy will remain in the same location.

Planner Durkee explained that it wasn't until approximately 10 years ago that a gas station required a Special Use Permit (SUP). Looking at the records, there is no SUP on file for this property. He went on to review how the request meets the SUP criteria. Some of the things Planner Durkee noted are as follows.

- The corner has been a gas station for decades and is along the frontage of a large shopping center. Both the gas station and shopping center are intensive use and appropriate for the area.
- The zone permits the use. The gas station complies with the alcohol separation requirement. There is no interest in obtaining an additional liquor license.
- The new use maintains the same open area along the canopy and faces toward the intersection. An existing hill and elevation screen the use from the north. There are no natural features on the site to preserve. The site plan review committee will do a final review of the plans.
- There is adequate road capacity to serve the use.
- Moving the building back opens maneuvering areas for traffic and customers and provides customer parking and access in a better arrangement than the existing site. There will be minimal impervious coverage increase.
- There are police, fire, and EMS facilities nearby. The proposed layout provides improved access for them.
- The use complies with standards for gas stations in the zoning ordinance.

Mr. Steve Witte, design engineer, came forward to speak to the request. He introduced property owner, Mr. Jason Berris.

Mr. Witte summarized that it will be a redevelopment of the site, and access points will remain the same. The location of the fuel canopy and the location and number of fuel islands will also remain the same. He said the building will be larger and pushed back on the site which will allow better traffic flow around the pumps. The car wash will be removed and not replaced.

Commissioner Kostrzewa asked about the traffic count at that intersection. Neither Planner Durkee nor Mr. Witte had that information.

Commissioner Sandoval asked if there would be access to the gas station from the parking lot behind. Mr. Witte said there was a large grade drop, so there would not be access from the parking lot behind. They will continue to use the existing driveways on Drake Road and Stadium Drive.

Commissioner Tolber asked if there was any community feedback on the request. Mr. Berris and Planner Durkee both said there was no feedback.

Commissioner Kostrzewa asked for an explanation about why it was considered a special use since it is a gas station going to a gas station. He also wondered if this came up again in 10 years if they would need

another SUP. Planner Durkee spoke about the intensive commercial zone district and that a gas station has a lot of traffic coming and going, illumination, and possible accessory uses. He shared that a SUP runs with the land. It would not have to come back to the Planning Commission unless there are changes exceeding the ordinance. Planner Durkee said that a SUP was not a requirement in CC zone district until approximately 10 years ago.

Commissioner Tolber asked how long construction would take and if traffic would be impeded. Mr. Berris said that a raze and rebuild will take about eight months. He said they will shut the whole place down, take it all out of service, and bring it back up when ready. Mr. Berris said that traffic should not be impeded during construction except for trucks coming in and out. They will try to keep everything as open and accessible as possible.

Commissioner Bissonnette asked for a time estimate from demolition to opening. Mr. Berris said that would depend on approvals, fine tuning the design, and permits. He estimated a couple of months for demolition and removing tanks. Putting the building up should take about six months. Mr. Berris also stated that winter conditions could be a factor. If, for some reason, they couldn't start by November then the project would be pushed back to spring.

Commissioner Curtiss opened the public hearing. He gave the phone number for call-in comments.

There were no in-person comments or call-in comments.

Commissioner Curtiss closed the public hearing.

Commissioner Tolber, seconded by Commissioner Bissonnette, moved to approve a Special Use Permit to redevelop the property with a new gas station and convenience store at 4710 Stadium Drive.

Commissioner Tolber said he had no major concerns about the project. He liked the fact that they were getting rid of the car wash.

Commissioner Bissonnette noted that the car wash was being replaced by a tree. He thought most people would be happy with that swap.

Commissioner Curtiss agreed he had no issues with the project.

A voice vote was taken, and the motion passed unanimously.

F. DISCUSSION/ACTION ITEMS

None.

G. REPORTS:

1. City Planner's Report

Planner Durkee mentioned again the winding down of IK2035 engagement events. Commissioner Kostrzewa applauded the outreach and number of the IK events. He felt there was a tremendous effort to get people there. Commissioner Bissonnette agreed.

2. Planning Commission Database Project.

Planner Durkee stated that intern, Charlie Kovacs, helped him develop the Planning Commission database. Although he found a few records from as far back as 1918, there wasn't anything substantive before 1954. Planner Durkee summarized the history of the Planning Commission in the City of Kalamazoo.

Mr. Charlie Kovacs stated that their goal was to create one comprehensive spot for all historical Planning Commission records. He entered over 1100 individual requests that the Planning Commission had taken from 1954 to present. The goal was to have this information searchable, filterable, and accessible to make looking for historical records easier. Mr. Kovacs reviewed the information fields in the database and explained the filters and search functions. He also included a link to Planning Commission minutes. Mr. Kovacs showed that database information can be generated as charts to help them get a better understanding of requests and why there are more/less requests for certain years.

Planner Durkee said the database is a living document and he can add new information immediately. He shared that he and other staff are already using it. Planner Durkee indicated that he would like to do the same sort of database with site plan files and possibly other boards. He said that they used a program called Microsoft Lists to build the database. Planner Durkee ended his presentation with a map showing how the City has grown since 1954.

Commissioner Kostrzewa thought the database was a great idea. He asked who the curator of the database would be. Planner Durkee answered that it would be the Assistant City Planner. He said that they send records to archives in the Clerk's office, but the Planning Department has ownership for the authentication of the data. Commissioner Kostrzewa asked if the database was live and if citizens at home would be able to use it. Planner Durkee said it is not live at this time. He didn't want to speak for the City of Kalamazoo if it would be available online.

Attorney Bear shared that while the database would be public record, there may not be direct access online. For any public record, a Freedom of Information Act (FOIA) can be used. Planner Durkee added that the database could cut down staff time for FOIA requests. Commissioner Kostrzewa clarified that the owner of the database is the City of Kalamazoo, not the people of Kalamazoo. Attorney Bear responded that they are public records.

3. Site Plan List

No questions/concerns.

H. PUBLIC COMMENTS:

Commissioner Curtiss shared the number for call-in comments.

There were no in-person or call-in comments.

I. CITY COMMISSION LIAISON COMMENTS

Commissioner Praedel said City Commission would have meetings for the next two Mondays because of the election schedule. He shared that the Farmer's Market opened. Commissioner Praedel said he went to three events related to housing in the past few weeks. He went to the Kalrecovery housing project groundbreaking and Governor Whitmer attended. They celebrated the opening of The Landing Place, and Kalamazoo Housing Advocates had a new office grand opening. Commissioner Praedel thanked Commissioner Slaby for joining them for that night's meeting.

J. MISCELLANEOUS COMMENTS BY PLANNING COMMISSIONERS

Commissioner Bissonnette thanked Planner Durkee and Mr. Kovacs for the database presentation. He thought it was fun seeing some of Kalamazoo's history. He congratulated Mr. Kovacs on his graduation. Commissioner Bissonnette was excited to see what more can be done with the database.

Commissioner Curtiss recommended the Farmer's Market. Commissioner Bissonnette gave a shout out for the Don Cooney Cultivation Center.

K. ADJOURNMENT

Commissioner Curtiss adjourned the meeting at 7:58 pm.



Planning Commission Staff Report

Date: **6/4/2026**

Item: **F.1.**

City of Kalamazoo

TO: City of Kalamazoo Planning Commission

FROM: Reviewed by: Christina Anderson, AICP, City Planner
Prepared by: Bobby Durkee, AICP, Assistant City Planner

DATE: June 4, 2026

SUBJECT: P.C. #2026.05 - Site Plan Review for a new office building at 4755 Campus Drive in the WMU Business, Technology and Research Park

BACKGROUND:

4755 Campus Drive is an undeveloped parcel located within Western Michigan University's Business, Technology, and Research Park (BTR). The BTR Park is part of WMU's Parkview Campus and contains a mix of university-owned and privately owned parcels, most of which have been developed under the coordinated design and development framework established for the Park. This parcel is privately owned by Owen-Ames-Kimball (OAK), who are proposing to construct a new Kalamazoo office to support their construction management and design operations. A unique element of the BTR Park is that all development within the CBTR zoning district requires two levels of site plan review:

1. A full technical review by the **Site Plan Review Committee (SPRC)**; and
2. **Final action by the Planning Commission**, as required by the zoning ordinance for all development within the CBTR district.

To coordinate these reviews, the applicant submitted the materials required for Full Site Plan Review, the plans were distributed across all SPRC disciplines for technical review. The SPRC's Full Site Plan Review Meeting will be held on Wednesday, June 3, and the results of that review will be provided to the Planning Commission for its meeting on Thursday, June 4. This allows the Commission to receive the benefit of the multidisciplinary review before taking final action on the same site plan, as required in the CBTR district.

The Site

The 4.28-acre site, known as Unit 30 of a site condominium subdivision, consists of gently rolling open land situated between two existing office buildings. Campus Drive includes curb, sidewalk, and a stormwater system. The proposed building, which is an 8,700 square foot glass, metal, and block single-story building on a slab, is centrally located on the parcel with a new driveway approach positioned to avoid impacts to existing street trees; none will need to be removed. The project continues the low-rise, clean-industry campus character of the BTR Park, with a one-story structure and site circulation patterns consistent with surrounding development. The project proposes an impervious coverage of 23.17%, well below the CBTR zoning allowance of up to 70%.

The Review Process and SPRC Roles

The Site Plan Review Committee conducts a coordinated technical review across multiple City departments. While the planning and zoning review is incorporated, site plan review also addresses civil, safety, and environmental requirements. Reviewers include:

- Public Safety / Fire Marshal
- Building Official
- City Engineers for water, sanitary sewer, stormwater, and traffic
- Environmental Programs Manager
- Planning and Zoning staff

- Additional reviewers as needed based on project characteristics, such as the NFP Overlay

The goal of the SPRC process is to produce a complete set of plans that meet all applicable City standards prior to construction. Staff will summarize any remaining technical items identified by the SPRC during the staff presentation.

Relationship Between SPRC and the Planning Commission

The Planning Commission's role in BTR development is rooted in the public-private partnership that formed the Park. University-owned parcels undergo WMU and BTR Design Review Committee review, but are exempt from local zoning. Privately owned parcels, including this one, require both the City's technical review through the SPRC and **Planning Commission approval of the site plan**, as specifically required for the CBTR district.

Once the applicant incorporates SPRC technical comments into revised plans, the Committee will verify that the changes satisfy applicable standards. Planning Staff recommends that the Planning Commission approve the site plan with the condition that the applicant work with the SPRC to resolve remaining technical items and obtain final site plan approval.

STRATEGIC VISION ALIGNMENT:

Strategic Goal Impact:

Good Governance- Ensuring the City organization has the capacity and resources to effectively implement the community's Strategic Vision in a way that is sustainable over the long term.

The BTR Park supports the City's economic development objectives while preserving coordinated open space, campus design and nonresidential employment opportunities within the Parkview Campus area. Requiring Planning Commission review, even where technical review is delegated to SPRC, supports transparency and public visibility in the development review process.

COMMUNITY ENGAGEMENT:

Appropriate Depth of Engagement

Inform (one-way conversation) – no feasible alternatives available due to legal/regulatory restrictions, standards and best practices, or resource limitations; the community will be made aware of the project.

Discussion: All site plans under review are placed on the city website during review and recently approved plans are posted online too. A recent update has added a layer to the GIS of any site plan on the map under review. With the BTR restrictions requiring the Planning Commission review, it also provides the plan to have a public review in an open meeting.

Engagement/Communication Tools

City website posting site plans before and after approval, City mapping (GIS), and staff reports published online.

FINDINGS:

The Site Plan Review Committee is a multidisciplinary staff body, which the Planning Commission annually delegates site plan review authority for most development types. The SPRC reduces the number of routine cases requiring Planning Commission action, while providing a coordinated technical review before the issuance of local permits. The SPRC includes representatives from:

- Planning
- Zoning
- Building
- Fire Safety
- Civil Engineering (water, stormwater, sanitary, and traffic)
- Environmental Programs
- Additional reviewers as necessary based on project needs

As of the publication of this staff report on Friday, May 29, most reviews have been completed. The comments received are primarily technical and do not indicate the need for any significant changes to the proposed site design. The SPRC and the applicant will review the comments together on Wednesday, June 3. Plan amendments will be required to address those comments, and a copy of the review comments will be provided to the Planning Commission at the meeting.

Planning Staff recommends that the Planning Commission approve the site plan with the understanding that the applicant will continue working with the SPRC to meet the standards necessary for final site plan approval.

Based on the materials submitted and the SPRC review to date, staff finds that the proposed site plan meets or is capable of meeting the applicable CBTR zoning standards including, setback height, impervious coverage, stormwater management, landscaping, hydrant placement, lighting, utility layout and architectural requirements, subject to final SPRC approval.

The SPRC review identified a conflict between the BTR design guidelines, which reference a range of 30 to 50 vehicles, and the City Zoning Ordinance, which establishes a maximum of 32 parking spaces for this proposal, including the allowable 10% increase per the Chapter 50 Parking standard allows. Staff advised that the Zoning Ordinance controls. Reducing the proposed parking count by eight spaces is feasible and will align the site plan with the current zoning code.

All new construction within the Parkview Campus must also undergo architectural review by the BTR Design Review Committee. These design standards apply to both university-owned and privately owned parcels. City staff will require verification of BTR Design Review Committee

approval prior to final site plan approval. The applicant is currently engaged in this process and has kept staff informed of its progress. There are some conflicting requirements in the design standards and staff is evaluating the details to ensure compatibility and intent of the CBTR design guidelines are met.

The proposed building incorporates pre-finished metal panels, composite materials, and glass in a modern architectural style consistent with the surrounding development. Full elevations for all four sides have been provided.

RECOMMENDATION:

It is recommended that the Planning Commission approve the site plan with the final approval of the full site plan being issued by the Site Plan Review Committee.

PLANNING COMMISSION APPLICATION GUIDELINES

The Planning Commission (PC) reviews applications for the requests listed below. All of the below requests, except for Special Use Permits, must also be reviewed by the City Commission for final approval.

- **Rezoning** – a change to the zoning of a property to a different zone district.
- **Text Amendments** – a change to the wording of the Zoning Ordinance. Note, City staff will take the lead in updating the Zoning Ordinance to ensure that edits to any one section do not conflict with others.
- **Special Use Permit** – a review of a land use which is allowed in a certain zone districts but requires review and approval to ensure specific criteria are met.
- **Planned Unit Development (PUD)** - a use of land where residential, open space and commercial uses may be clustered in a pre-planned development
- **Preliminary Subdivision** - a review of a preliminary subdivision layout.
- **Right-of-Way Vacation** – to vacate or remove a section of public street or alley.

Staff

Bobby Durkee, AICP, Assistant City Planner - 269-337-8173 or durkeer@kalamazoo.org

Application Process

Step 1: Pre-Application Meeting. Before completing any application, schedule a meeting with the Assistant City Planner. At this meeting, staff will review the proposed request, provide any applicable Zoning Ordinance information, include suggestions for completing the application and public engagement. Applications will not be received or noted as complete if this meeting has not occurred.

Step 2: Application. Please complete general application form and review sheet for specific type of request. Also include any supporting information, plan, or map. Applications are available in person at the Community Planning & Economic Development (CPED) Offices at 245 N Rose Street, Suite 100 or online at www.kalamazoo.org/planningzoningforms.

Step 3: Application Fee. Fee Schedule available at www.kalamazoo.org/cpdfeschedule/file

Step 4: Completed Application. Please email application and information to eldridgep@kalamazoo.org. The application can be mailed or drop off with the application fee at CPED offices (245 N Rose Street, Suite 100). Complete applications are due four (4) weeks before the scheduled meeting date.

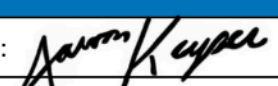
Step 5: The Planning Commission Schedule & Deadlines. Planning Commission meetings are held on the 1st Thursday of each month at 7 pm. These meetings are virtual until further notice and can be watched on the [City's Facebook page](#) and [YouTube Channel](#). The list of meeting dates can be found at www.kalamazoo.org/planning.

Step 6: Notice and Outreach. Summary of activities conducted which align with the Public Participation Plan (www.imaginekalamazoo.com/plans): outreach to neighborhood association (if one) and adjacent property owners, including door knocking, letters, or a meeting. It is recommended that this feedback is relayed to the Assistance City Planner before Public Hearing Notices are mailed 10 days before the meeting.

Step 7: Required Attendance at Meeting. The applicant or representative of the applicant is required to attend the meeting.



PLANNING COMMISSION APPLICATION

APPLICANT INFORMATION		
Name: Aaron Keyser - OAK		Mailing Address: 2700 Stadium Drive, Ste 2
City: Kalamazoo	State: MI	ZIP Code: 49008
Phone: 269-276-9700	Email: aaronk@oakmi.com	Preferred Contact: <input checked="" type="checkbox"/> Email <input type="checkbox"/> Phone
PROPERTY OWNER INFORMATION		
<i>If the applicant is not the property owner, owner must sign application or provide a letter stating that owner gives consent for the application to be filed.</i>		
Name: Owen Ames and Kimball (OAK)		Mailing Address: 2700 Stadium Drive, Ste 2
City: Kalamazoo	State: MI	ZIP Code: 49008
Phone: 269-276-9700	Email: aaronk@oak.com	Preferred Contact: <input checked="" type="checkbox"/> Email <input type="checkbox"/> Phone
PROPERTY INFORMATION		
Property Address(s): 4755 Campus Drive, Kalamazoo MI 49008		
Parcel Identification Number(s): 06-31-117-030	Zone District (kalamazoo.org/maps):	
TYPE OF REQUEST		
<input type="checkbox"/> Rezoning <input type="checkbox"/> Text Amendment (Chapter(s) _____, Section(s) _____) <input type="checkbox"/> Special Use Permit		
<input type="checkbox"/> Planned Unit Development (PUD) <input type="checkbox"/> Preliminary Subdivision <input type="checkbox"/> Right of Way Vacation		
Description: Owner is proposing the construction of an 8,737 sft building with 40 parking stalls		
ATTACHMENTS		
<input checked="" type="checkbox"/> \$ 520.00 Fee		<input checked="" type="checkbox"/> Completed Review Sheet
<input type="checkbox"/> Other documents or engagement information		
<i>Note: 10 days before meeting provide update on outreach to neighbors or provide any letters of support</i>		
SIGNATURE		
Signature of Applicant:  Aaron Keyser		Date: 04/27/2026
Signature of Owner (if different than applicant):		Date:

Site Plan Review

Received: 5/7/2026
City of Kalamazoo
E.Szymanski

PROJECT NAME AND ADDRESS

KALAMAZOO OFFICE
4755 CAMPUS DRIVE
KALAMAZOO, MI 49008

PROJECT DESCRIPTION

NEW 8,711 GSF ONE-STORY NON-SPRINKLERED COMMERCIAL OFFICE BUILDING WITH OUTDOOR PATIO HAVING DECORATIVE SCREEN FENCE.

THE BUILDING IS COMPRISED OF COMPOSITE METAL PANEL DRY-REVEAL RAINSCREEN CLADDING ON INSULATED COLD-FORMED METAL STUD FRAMING WITH A CONVENTIONAL STEEL STRUCTURE FRAME. EXTERIOR FENESTRATION IS THERMALLY-BROKEN STOREFRONT WINDOWS. THE ROOF IS A MILD, LOW-SLOPED MEMBRANE ROOF ON POLYISO INSULATION ON GALVANIZED METAL ROOF DECK WITH INTERIOR RAIN LEADERS CONNECTED TO UNDERGROUND STORM PIPING DAYLIGHTING TO ON-SITE DETENTION. ROOF TOP MECHANICAL EQUIPMENT IS SCREENED.

CITY SUBMITTALS

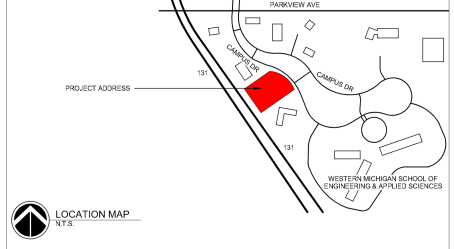
LIST OF CITY SUBMITTALS

1. SITE PLAN APPROVAL
2. PERMIT

LIST OF DEFERRED CITY SUBMITTALS

- A. FIRE ALARM SYSTEM
- B. COLD FORMED METAL FRAMING

LOCATION MAP



PROJECT IMAGE



DRAWING INDEX - SPA	
SHEET #	SHEET TITLE
AE 06-01	NO VIEWS
00	GENERAL INFORMATION
• G06-00-00	COVER SHEET
• G06-00-01	GENERAL INFORMATION PROJECT DRAWING INDEX
• G07-00-00	GENERAL INFORMATION CODE SUMMARY AND LIFE SAFETY PLANS
40	CIVIL
• C1-00-00	EXISTING CONDITIONS AND REMOVALS
• C2-00-00	SITE PLAN
• C2-01-00	VEHICLE RADIUS PLAN
• C3-00-00	GRAZING PLAN
• C3-01-00	BASIC PLAN
• C4-00-00	UTILITY PLAN
• C4-01-00	UTILITY PROFILES
• C4-02-00	STORMWATER CALCULATIONS
• C5-00-00	SITE DETAILS
• C5-01-00	UTILITY AND RESC DETAILS
• L1-00-00	LANDSCAPE PLANTING PLAN
70	ARCHITECTURAL ELEMENTS
• AE 1-01-00	ARCHITECTURAL FLOOR PLAN COMPOSITE
• AE 1-01-00	ARCHITECTURAL ROOF PLAN COMPOSITE
• AE 200-01	ARCHITECTURAL BUILDING ELEVATIONS
• AE 300-01	ARCHITECTURAL BUILDING SECTIONS
• AE 300-02	ARCHITECTURAL WALL SECTIONS
• AE 400-01	ARCHITECTURAL LARGE SCALE VIEWS
• AE 400-02	ARCHITECTURAL LARGE SCALE VIEWS
• AE 401-01	MONUMENT SIGN & DUMPSTER ENCLOSURE DETAILS
• AE 601-00	ARCHITECTURAL CEILING PLAN COMPOSITE
170	ELECTRICAL GENERAL INFORMATION
• E06-00-00	ELECTRICAL SYMBOLS AND GENERAL NOTES
• E06-00-00	ELECTRICAL DETAILS
• E06-00-01	ELECTRICAL DETAILS
175	ELECTRICAL SITE
• E500-00	ELECTRICAL SITE PLAN
• E500-01	SITE LIGHTING CALCULATIONS
176	ELECTRICAL LIGHTING
• EL 1-01-00	FIRST FLOOR LIGHTING PLAN
177	ELECTRICAL POWER
• EP 1-01-00	FIRST FLOOR POWER PLAN
• EP 1-01-00	ROOF ELECTRICAL PLAN

PROJECT TEAM

ARCHITECT INTERIOR DESIGN

GHAFARI

37 OTTAWA AVENUE NW
SUITE 700
GRAND RAPIDS, MI 49503-2900 USA
TEL +1 616.771.0909
www.ghafari.com

CONSTRUCTION MANAGER



Building Since 1891
2700 STADIUM DR
SUITE 2
KALAMAZOO, MI 49008 USA
TEL +1 269.276.9700
www.owen-ames-kimball.com

CIVIL ENGINEER

Prein&Newhof

1707 S PARK STREET
KALAMAZOO, MI 49001 USA
TEL +1 269.372.1158
www.preinnewhof.com

MECHANICAL ENGINEER PLUMBING ENGINEER ELECTRICAL ENGINEER

IGNYTE

MECHANICAL • ELECTRICAL DESIGN
128 DEVISSER PLACE
KALAMAZOO, MI 49007 USA
TEL +1 269.203.5058
www.ignyte-design.com

PROJECT INFORMATION

PROJECT NUMBER: 2500713
ISSUED FOR: DOC REL 02 - SPA
ISSUE DATE: 05/06/26





NEW OFFICE BUILDING
OWEN-AMES-KIMBALL
CO.

GHAFARI

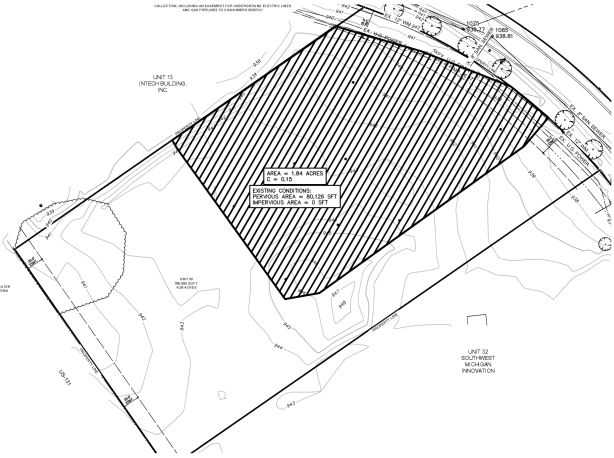
37 OTTAWA AVENUE, NW
SUITE 700
GRAND RAPIDS, MI 49503-2900 USA
TEL: +1 (616) 771-0099
www.ghafari.com

CONSULTANT INFORMATION

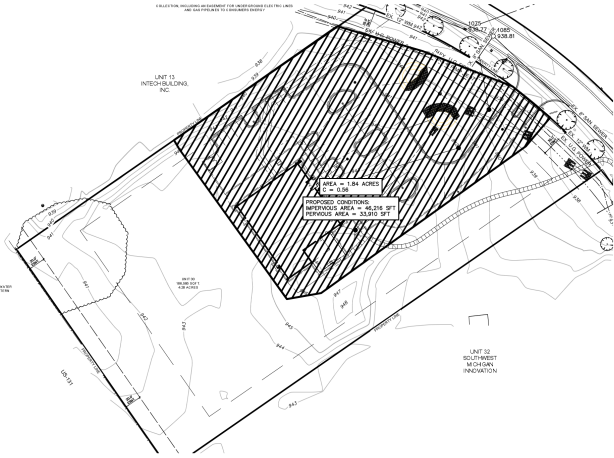
Prein & Newhof
Engineers-Architects-Planners

REGISTRATION SEAL

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EX. DRAINAGE AREA
SCALE - 1" = 60'



PROP. DRAINAGE AREA
SCALE - 1" = 60'

UNIFORM STORMWATER STANDARD 1: WATER QUALITY TREATMENT VOLUME & MTD WORKSHEET

*Applies to Sites 2-5.5 Acres and Large Parking Lots with 2-20 Spaces and/or 4-1000 SF
**If not NUCAT Verified and NUCAT Certified, provide further documentation for the proposed BMPs

Table with columns: Proposed Treatment BMP, NUCAT Verified?, NUCAT Certified?, Maximum Treatment Volume, Maximum Treatment Flow Rate. Includes rows for Infiltration Basin and Proposed Total Treatment Volume and Flow Rate.

Attach this form and supporting documentation for selected BMPs to the Storm Water Calculations Worksheet

COK WORKSHEET SHEET 2

Overflow Calculations table with columns: Overflow Calculations, OAK Office Building, Project Name, Date, C (runoff coefficient), Q1 (10 yr undraind peak inflow), Primary Overflow Sizing - Pipe, Q2 (Total Flow provided).

OVERFLOW CALCULATIONS

Forebay Sizing table with columns: Forebay Sizing, Project Name, Date, Forebay Volume Required, Forebay Volume Provided, Forebay 1 (SE), Forebay 2 (NW), TOTAL FOREBAY VOLUME PROVIDED.

FOREBAY SIZING

Stormwater Calculations Worksheet

Stormwater Calculations Worksheet table with columns: PRE-DEVELOPMENT CONDITIONS, POST-DEVELOPMENT CONDITIONS, Surface Cover, Runoff Coefficient, Runoff Volume.

*Relative Method Used for All Calculations, where 0-COA (lowest value reference) Treatment Method is used for the area (ft²) of the roof top of surface cover.

COK WORKSHEET SHEET 1

UNIFORM STORMWATER STANDARD 2: CHANNEL PROTECTION VOLUME WORKSHEET

Channel Protection Volume Worksheet table with columns: Proposed Detention/Retention BMP, Volume Detained/Retained, Infiltration Basin, Proposed Total Volume, Required Storage Volume.

Attach this form and supporting documentation for selected BMPs to the Storm Water Calculations Worksheet

COK WORKSHEET SHEET 3

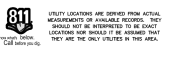
BASIN SIZING table with columns: BASIN SIZING, Project Name, Date, STORAGE VOLUME PROVIDED, Infiltrating Volume Provided, TOTAL VOLUME PROVIDED.

BASIN SIZING - VOLUME PROVIDED

Infiltration Sizing table with columns: INFILTRATION SIZING, Project Name, Date, DOCUMENTATION, Drain Time, Infiltrating Volume.

INFILTRATION SIZING DOCUMENTATION

Vertical text on the left margin: GHAFARI ASSOCIATES © 2005, 11/2006 (03/07/PM), J.MILLER, T:\CADD\Prein\2005\2250863_OAK_4757_Campus Drive_PHOZZI\DWG_CADD\STORM WATER\CALC.CSW



Revision table with columns: REV, DATE, DESCRIPTION, BY, CHECKED, APPR.

PROJECT # 2250863
PROJECT MANAGER A. WILSON
DESIGNED BY M. ANDERSON
DRAWN BY JESSICA KING
QUALIFIED A. LASTNAME
SHEET TITLE

STORMWATER CALCULATIONS
C4-02-00
SHEET NUMBER



NEW OFFICE BUILDING
OWEN-AMES-KIMBALL
CO.

GHAFARI

37 OTTAWA AVENUE NW SUITE 700
GRAND RAPIDS, MI 49503-2900 USA
TEL: +1 616 771 0559
www.ghafari.com

CONSULTANT INFORMATION

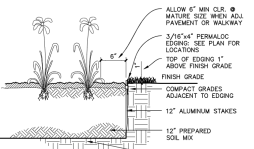
Prein & Newhof
Engineers-Architects-Landscape Architects

REGISTRATION SEAL
THIS DRAWING HAS BEEN ISSUED FOR REFERENCE ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSES THAN THE INTENDED WORK. IN PROGRESS COORDINATION. USE OF THIS DRAWING FOR PURPOSES OTHER THAN WORK IN PROGRESS IS AT THE USER'S OWN RISK. THIS DOCUMENT SHOULD NOT BE USED FOR OFFICIAL BIDDING, PRICING, QUANTITY TAKE-OFFS OR OTHER CONSTRUCTION ACTIVITIES.



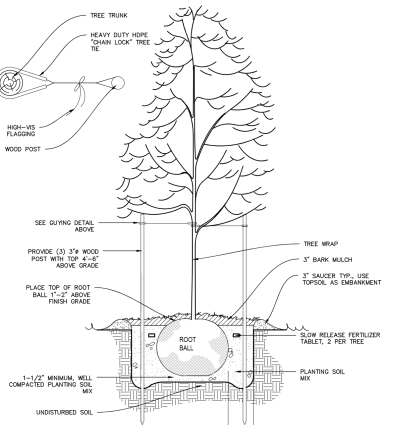
LANDSCAPE PLANTING LEGEND

	DECIDUOUS CANOPY TREES
	ORNAMENTAL FLOWERING TREES
	DECIDUOUS SHRUBS
	EVERGREEN SHRUBS/TREES
	PERENNIALS
	MAINTENANCE STRIP

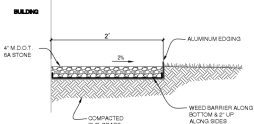
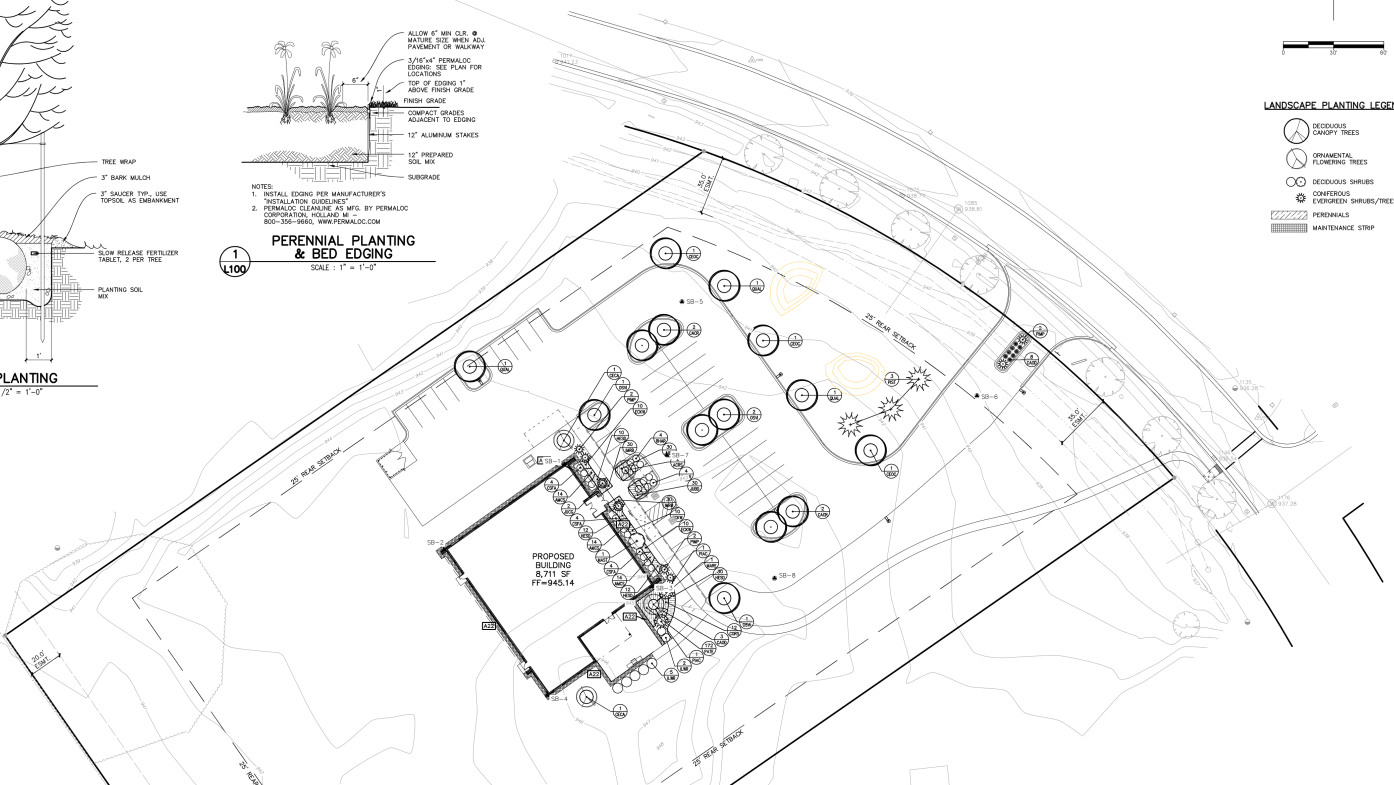


PERENNIAL PLANTING & BED EDGING
SCALE: 1" = 1'-0"

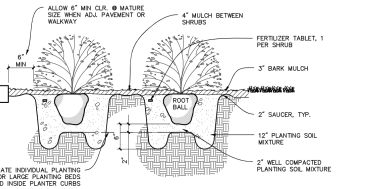
NOTES:
1. INSTALL EDGING PER MANUFACTURER'S INSTALLATION GUIDELINES.
2. PERMALOC CLEANING AT MFG. BY PERMALOC CORPORATION, HOLLAND, MI 800-355-9990. WWW.PERMALOC.COM



TREE PLANTING
SCALE: 1/2" = 1'-0"



GRAVEL MAINTENANCE STRIP
SCALE: NONE



SHRUB PLANTING
SCALE: 1" = 1'-0"

LANDSCAPE PLANTING NOTES

- TOPSOIL AND SEEDS/ODD ALL DISTURBED AREAS NOT DESIGNATED FOR LANDSCAPE BEDS/PLANT MATERIALS. CONTRACTOR MUST RESTORE DISTURBED AREAS WITH TOPSOIL AND SEEDS/ODD DAMAGED AS A RESULT OF CONSTRUCTION.
- SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLANS AS SHOWN.
- DO NOT INSTALL PLANT MATERIALS BEFORE COMPLETION AND APPROVAL OF ROUGH GRADING BY THE LANDSCAPE ARCHITECT. PLANT MATERIALS INSTALLED WITHOUT THIS APPROVAL IS AT CONTRACTOR'S RISK.
- PROVIDE PLANTS AS BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIALS MADE OF SYNTHETIC OR PLASTIC MUST BE REMOVED AT TIME OF PLANTING. INSTALL ALL PLANTS WITH THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- REMOVE THE ENTIRE CONTAINER FROM CONTAINER GROWN STOCK, AND CUT THE BALL VERTICALLY THROUGH THE SURFACE IN TWO LOCATIONS.
- STAKE THE LOCATION OF ALL TREES AND SHRUBS FOR APPROVAL BY THE LANDSCAPE ARCHITECT ONE DAY PRIOR TO PLANTING.
- ALL PLANT MATERIALS SHALL BE SELECTED AND TAGGED AT THE NURSERY BY THE PROJECT LANDSCAPE ARCHITECT.
- SPRAY ALL PLANTS WITH AN ANTI-DESICCANT WITHIN 24 HOURS OF PLANTING, AND AT THE BEGINNING OF THEIR FIRST WINTER.
- INSTALL ALL PLANTS ACCORDING TO DETAILS AND CONTRACT SPECIFICATIONS.
- THOROUGHLY WATER ALL PLANTS TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING.

LANDSCAPE REQUIREMENTS

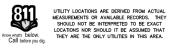
SEEDING: TYPE V INTERMITTENT LANDSCAPE BUFFER
1. ONE (1) TREE PER 50 SF OF FRONTAGE
ONE (1) SHRUB PER 6 SF OF FRONTAGE
300/75 = 50 TREES
300/75 = 50 SHRUBS

INTERIOR LANDSCAPING:
2. 20 SQ FT PLANTING PER PARKING SPACE
REQUIRED 70 SPACES = 1,400 SQ. FT. PROVIDED
3. ONE (1) CANOPY TREE PER 25 SPACES
70 SPACES/25 = 3 TREES = 3 TREES PROVIDED

PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
DECIDUOUS TREES					
ADRS	2	ACER RUBRUM 'RED SENTINEL'	RD. SENTINEL MAPLE	2' CAL	DBM
CAOR	4	CARYOPUS CAROLINIANA	AMERICAN HORNBEAM	2' X 2' CAL	DBM
CEOC	3	CELTIS OCCIDENTALIS	COMMON HICKORY	2' X 2' CAL	DBM
OSVA	4	OSTRYA VIRGINIANA	BUR-OAK	2' X 2' CAL	DBM
OSAL	3	OSYRIS ALBA	WHITE OAK	3' CAL	DBM
ORNAMENTAL TREES					
CECA	2	CESTRUM CANADENSE	EASTERN REDBUD	6' HT	DBM
MARE	1	MALUS 'BRABRER'	PRAIRIFIRE CRABAPPLE	2' CAL	DBM
EVERGREEN TREES					
PIAC	2	PICEA ABIES 'CUPRESSINA'	COLUMBIAN NORWAY SPRUCE	6'	DBM
PIST	3	PINUS STROBUS	EASTERN WHITE PINE	6'	DBM
DECIDUOUS SHRUBS					
CDPA	12	CORDON ROSSII/ROSA 'FARROW'	ARTIC FIRE RED TWIG DOGWOOD	#5 CONT	36" OC SPACING
PIAR	8	PINUS ARMATA 'GROW LOW'	GROW LOW PRAGMANT SNAAC	#2 POT	42" OC SPACING
EVERGREEN SHRUBS					
ELWR	7	LEX VERTICILLATA 'WINTER RED'	WINTER RED WINTERBERRY	#5 CONT	6" OC SPACING
JXOS	2	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	#5 CONT	6" OC SPACING
FAMP	4	FORSYTHIA 'MAGNIFICENT SELECT'	EASTERN WHITE PINE	#5 CONT	36" OC SPACING
PERENNIALS & ORNAMENTAL GRASSES					
AMCS	42	ANEMONE 'MILLET/BLAU'	STRAWBERRY SEDUCTION VARROU	#1 POT	18" OC SPACING
CAOD	3	CALAMAGROSTIS + ACUTIFLORA 'OVERBAM'	VAREGATED FEATHER REED GRASS	8"/FLAT	36" OC SPACING
CORS	12	COREOPSIS 'RED SATIN'	'RED SATIN' THREADLEAF COREOPSIS	8"/FLAT	24" OC SPACING
EDWJ	30	ERINACEA 'KOMET' WHITE	KOMET WHITE CONEFLOWER	8"/FLAT	18" OC SPACING
HEB3	14	HIBERNICALIS 'STELLA DE ORO'	STELLA DE ORO DAISY	8"/FLAT	18" OC SPACING
IMB	60	IMPATIENS 'CHUNDRICA RED BARON'	JAPANESE BLOOD GRASS	8"/FLAT	12" OC SPACING
JJBD	60	JANUS 'BLUE DART'	BLUE DART RUSH	8"/FLAT	18" OC SPACING
PAIE	172	PACHYSANDRA TERMINALIS	GREEN CARPET PACHYSANDRA	24"/FLAT	12" OC SPACING

GHAFARI ASSOCIATES © 2025 5/20/25 04:15 PM J.MILLER
 T:\CADD\PROJECTS\250225\DWG - 2502\250225.DWG - 2502\250225.DWG - Landscape Planting



PROJECT #	250208
PROJECT MANAGER	A. NELSON
DRAWN BY	M. ANDERSON
JOINED BY	A. JORDAN
CHECKED	A. JASTROW
SHEET TITLE	

LANDSCAPE PLANTING PLAN

L1-00-00
SHEET NUMBER

EXTERIOR FINISH MATERIALS LEGEND

NOTE: MATERIALS INDICATED ARE BASIS OF DESIGN. UON.

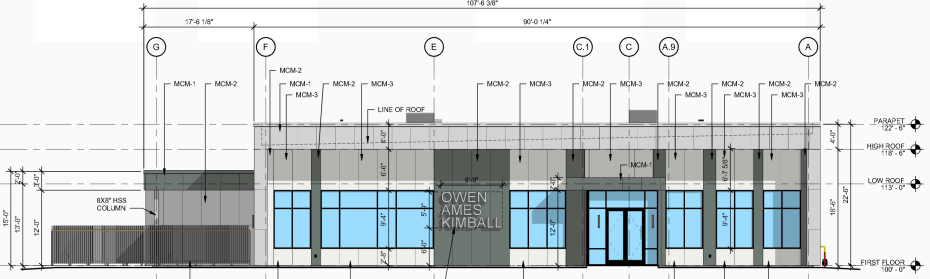
MARK	FINISH MATERIAL	MANUFACTURER	PRODUCT	COLOR	SIZE / COMMENTS
MCM-1	METAL COMPOSITE MATERIAL	PAC CLAD	PAC3000 RS	DARK GREY GRANITE	4 MM, 2" PANEL SYSTEM W/ 1/2" REVEAL
MCM-2	METAL COMPOSITE MATERIAL	PAC CLAD	PAC3000 RS	MEDIUM GREY	4 MM, 2" PANEL SYSTEM W/ 1/2" REVEAL
MCM-3	METAL COMPOSITE MATERIAL	PAC CLAD	PAC3000 RS	WHITE	4 MM, 2" PANEL SYSTEM W/ 1/2" REVEAL
MP-1	PREFINISHED METAL PANEL	MAC METAL ARCHITECTURAL	NORWOOD	TEAK	5.37H x 144L x 0.41D - 24 GA
SF-1	EXTERIOR STOREFRONT SYSTEM	TUBELITE	TU14000 HD STOREFRONT	ANODIZED BLACK	2 X 4 S
EP-1	EXTERIOR PAINT	SHERWIN WILLIAMS	EPOXY PAINT	BLACK	
IG-1	INSULATED GLAZING	GUARDIAN GLASS	1" LOW-E INSULATED ARGON FILLED WITH THERMAL EDGE SPACERS	TINTED	OUTSIDE LITE: 1/4" CLEAR 8MM LOW-E #2 (TINT COLOR) GAP: 1/2" ANODI INSIDE LITE: 1/4" CLEAR
IG-2	INSULATED ACOUSTIC GLAZING	GUARDIAN GLASS	1" LOW-E INSULATED ARGON FILLED WITH THERMAL EDGE SPACERS	TINTED	OUTSIDE LITE: 1/4" CLEAR 8MM LOW-E #2 (TINT COLOR) GAP: 1/2" ANODI INSIDE LITE: LAMINATED (3/4" 1/4" CLEAR W/ 0.060" PVB HEAT-STRENGTHENED) AND TAMPERED
IG-3	INSULATED SPANDREL GLAZING	GUARDIAN GLASS	1" LOW-E INSULATED AIR FILLED WITH THERMAL EDGE SPACERS	TINTED	OUTSIDE LITE: 1/4" CLEAR 8MM LOW-E #2 (TINT COLOR) GAP: 1/2" ANODI INSIDE LITE: LAMINATED (3/4" 1/4" CLEAR W/ 0.060" PVB HEAT-STRENGTHENED, LIGHT GREY SPANDREL COATING)
L-1	LOUVER	ARCHITECTURAL LOUVERS	WIND DRIVEN - E4WH	MATCH MP	3" DEPTH
F-1	FENCE	LANDSCAPE FORMS	LINE	GLOSS BLACK	3W VERTICAL PICKETS ABOVE TOP RAIL, 1-1/2" x 3" POSTS

ZONING INFORMATION

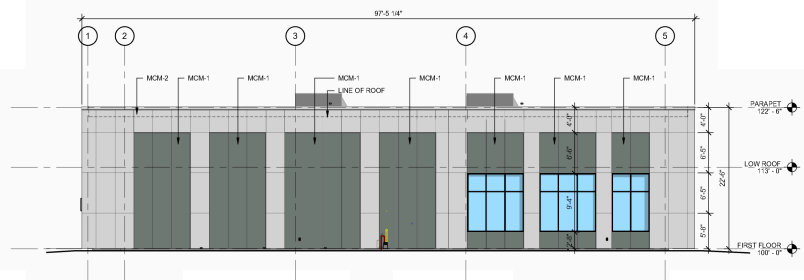
ITEM:	REQUIREMENT:	COMMENT:
DISTRICT:	CBTR: WESTERN MICHIGAN UNIVERSITY, BUSINESS, TECHNOLOGY AND RESEARCH (BTR) PARK	
MAXIMUM HEIGHT:	50 FT.	1 STORY - VARED HEIGHTS
BUILDING TRANSPARENCY:	(SECTION 90.5.8B(2)(b) - STOOP) 50% MIN TRANSPARENCY BETWEEN 2'-8" AFD AT PRIMARY FACADE	NORTH FACADE - 68.0% PROVIDED
BUILDING GROSS SQ FT AREA:	8,711 GSF	
LOT TYPE:	INSTITUTIONAL CAMPUS (IC) DISTRICT	
EXTERIOR MATERIALS:	STOREFRONT, GLASS, AND METAL PANEL CLADDING.	
FENCING:	(SECTION 90.8.5B - NON RESIDENTIAL USES) 6-FT MAX FENCE HEIGHT (SIDE AND REAR YARDS)	
GROUND MOUNTED MECH EQUIP:	(SECTION 90.4.5D) NOT PERMITTED IN FRONT AND CORNER SIDE YARDS. FENCE OR WALL SIX TO EIGHT FEET IN HEIGHT TO CREATE A COMPLETE OPAQUE SCREEN. OPAQUE LITE AND WHEEL STOPS WHEN LOCATED IN A PARKING AREA.	
SIGNS:	(TABLE 9.5-1: SIGN TYPES AND ALLOWANCE BY ZONING DISTRICT) (BTR PARK REQUIREMENTS) ADDRESS IS NON-TYPICAL, CONTRASTING COLOR TO BACKGROUND. FRONT LIT SIGNS (BACKLIT) SIGNS NOT PERMITTED. FREESTANDING SIGN: (1) PER 1-FT OF LOT FRONTAGE / 200-SF MAX (3-FT SETBACK) LOCATE IN BOULEVARD AT ENTRANCE. WALL SIGN: (2) PER 1-FOOT OF BUILDING FRONTAGE / 200 SF MAX FREEWAY SIGN: (1) FREEWAY SIGN ALLOWED ON LOTS WITHIN 300 FEET OF HIGHWAY (RIGHT-OF-WAY) 18.5 FT MAX 80 FT MAX HEIGHT SETBACK: 14 FEET MUST BE ORIENTED TO HIGHWAY VEHICLE TRAFFIC MARQUEE: (1) PER BUILDING SETBACK, 14 FEET MUST BE ORIENTED TO HIGHWAY VEHICLE TRAFFIC 18 INCH MAX PROJECTION	



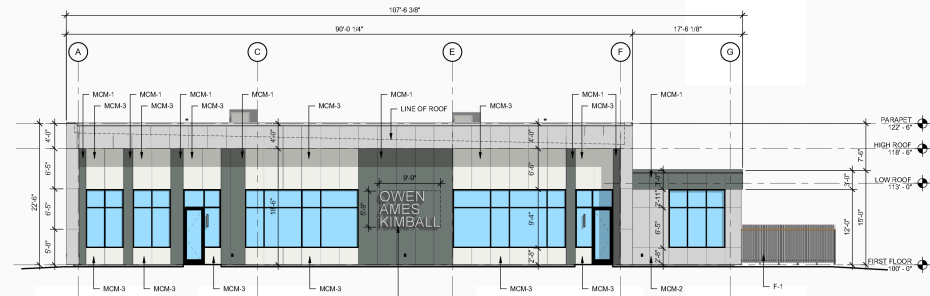
EAST ELEVATION
NOT TO SCALE



NORTH ELEVATION
NOT TO SCALE



WEST ELEVATION
NOT TO SCALE



SOUTH ELEVATION
NOT TO SCALE

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KALAMAZOO OFFICE
4765 CAMPUS DRIVE
KALAMAZOO, MI 49008

GHAFFARI
37 OTTAWA AVENUE NW
SUITE 700
GRAND RAPIDS, MI 49503-2900 USA
TEL: +1 616 771 0999
www.ghaffari.com

CONSULTANT INFORMATION

REGISTRATION SEAL

05/06/26	DOC REL 02 - SPA		
04/27/26	DOC REL 01 - SCHEMATIC DESIGN		
REV	DATE	DOC REL #	DESCRIPTION

PROJECT #	2500713
PROJECT MANAGER	A NELSON
DESIGNED BY	A ECKERT
DRAWN BY	B CHEN
QUALITY CHECK	A ECKERT
SHEET TITLE	

ARCHITECTURAL BUILDING ELEVATIONS

AE2-00-01
SHEET NUMBER

DRAWING ASSOCIATED 2-D/3-D: 5/26/26 10:17 AM



2. Site Plan Review Application

Site Plan Review is an administrative process through the Site Plan Review Committee (SPRC). The Committee is comprised of members of many City Departments, including Public Safety, Public Services, Building and Trades, Community Planning and Economic Development (CPED). For Site Plan Approval, an applicant must attend two meetings: **Checklist Meeting** and **Site Plan Review**. The SPRC will approve plans once a proposed project has gone through both meetings and complies with all City of Kalamazoo standards.

Site Plan Review Meeting

Site Plan Review meetings are designed for projects that have attended a Checklist Meeting and are permitted by zoning (by-right or through additional approvals, such as ZBA and Planning Commission). Applicants applying for Site Plan Review are required to provide a completed Site Plan Checklist (pages 2-8 below), and additional information, as stated by the SPRC in the Checklist Meeting. Welcome to the final stage of the site plan review process!

Ready for Site Plan Review?

Review the following items to ensure you get the most out of the Checklist Meeting:

1.

Attend a Checklist Meeting

Receive feedback and Code references from the SPRC at a Checklist Meeting to help you prepare final plans for Site Plan Review.

2.

Submit a complete Site Plan Review Application, final plans, and additional information

For an Application to be complete:

- Page 1 of this Application is filled out in its entirety.
- You've referenced sheet numbers where the SPRC can find each specific Checklist item (pages 2-8 of this Application).
- Final plans have been provided to the Planner I.
- All applicable forms/documents (environmental reports, CSI Form, SPC, SW calculations, SWA) have been provided to the Planner I.

**Final plans are
required for
Site Plan Review**

Fees:

Reference the Fee Schedule at:


kalamazoo-city.org/CPEDFeeSchedule

Questions:

 siteplan@kalamazoo-city.org

 311 or (269) 337-8000

Accommodations:

 311@kalamazoo-city.org

 311 or (269) 337-8000

Learn More:

More Site Plan information is at:

kalamazoo-city.org/SitePlanReview

Site Plan Review Application

Project Details

Community Planning & Economic Development

245 N Rose St, Suite 100
Kalamazoo, MI 49007
www.kalamazoocity.org



SITE INFORMATION

Property Address / Addresses: 4755 Campus Drive

Parcel Identification Numbers (PINs):

DESCRIPTION OF PROJECT

Proposed construction of an 8,736 sft building with 40 parking stalls

APPLICANT SIGNATURE

Name: Aaron Keyser - Owen Ames & Kimball

Signature:

Date:

05/08/2026

Applicant / Owner & Details

APPLICANT INFORMATION

Name: Aaron Keyser - Owen Ames & Kimball

Address: 2700 Stadium Drive, Ste 2

City: Kalamazoo

State: MI

Zip: 49008

Phone: 269-276-9700

Preferred Contact: Email Phone

Email: aaronk@oakmi.com

PROPERTY OWNER INFORMATION

Name: Same as above

Address:

City:

State:

Zip:

Phone:

Preferred Contact: Email Phone

Email:



Site Plan Review Application

Site Plan Review Checklist

EXISTING CONDITIONS	<i>Applicant</i> Information Found on (Sheet #):
Vicinity Maps - Illustrating adjacent streets and existing structures (within 200'), zoning, land use, and 2025 Master Plan Land Development designation of adjacent parcels.	
Note Presence of Special District or Designation:	
• Historic District	N/A
• Brownfield Redevelopment Authority	N/A
• State/Federal List for Soil/Groundwater Contamination – If yes, also contact MEGLE	N/A
• Endangered/rare species or habitat area – If yes, also contact MDNR	N/A
• Required reporting for RCRA/US EPA Hazardous Waste Handler site (note site type: small quantity generator, large quantity generator, transporter, treatment/storage/disposal, notifier, other)	N/A
• Solid Waste Facility	N/A
• Baseline Environmental Assessment (BEA), Environmental Site Assessments (ESA's), Due Care plans (DCP). or other environmental info or reports as applicable	N/A
• Tax capture or deferment area (such as CIA, TIF, NEZ, etc.)	N/A
• Natural Features Protection – 2025 Master Plan	C1-00-00
• Wellhead Protection Area	N/A
Location and Type of Existing Features on the Subject property and on Adjacent Properties - Woods, wetlands, streams, rivers, lake, drains, 100-year flood plains, floodway, wetland, soil contamination, groundwater contamination etc. Also required are:	
• Topography (2' contour lines labeled with USGS datum)	C1-00-00
• Tree Inventory (note all trees 10" or greater at diameter breast height or dbh on the site with species type, condition, and remain/ remove status)	C1-00-00
If Project Disturbs an Area Greater than 1 Acre within 500' of a Lake or Stream, EGLE Permit Required.	N/A
Location, Dimensions, and/or Capacities of - Existing lots; recorded and unrecorded easements (including County drains); all utilities, including water, sewer, electric, gas, phone, cable, internet, wells and cisterns, hydrants; Fire Department Connections, rights-of-way (including sidewalk, trails, landscaping, lighting, pavement, notes on vacation, etc. within it); and points of access.	C1-00-00



Site Plan Review Application

Applicant

PLANNING / ZONING	Information Found on (Sheet #):
Alignment with 2025 Master Plan.	
Zoning Table to Include:	
• Building Location - Distance from property lines, zone district, impervious coverage (pre and post development)	C2-00-00
• Parking (Vehicle and Bicycle) and Loading - Location, quantity, dimensions, barrier-free, signage, driveway width and location	C2-00-00
• Building Elevations - Number of stories, window and door locations, facade materials, and lighting	AE2-00-01
• All On-Site Lighting - Location, height, type, wattage	ESO-01-00
• Signage Details - Type, location, and size	AE4-01-01
• Site Access for All Modes (Vehicle, Pedestrian, Bicycle, Transit) - Location, dimension, radii, materials, signage	C2-00-00
• Refuse Location & Screening	C2-00-00 & AE4-01-01
• Landscape Plan - Include location / type of fencing, walls, plant schedule (number, size, species), and number of existing / proposed trees, vegetation, and tree canopy	L1-00-00
If LW1, LW2, D1, D2, D3 - Identify the Following Form Standards:	
• Lot Type	N/A
• Entry Type	N/A
• Number of Entrances	N/A
• Setbacks/BTZ	N/A
• Transparency	N/A
• Number and Location of Driveways	N/A

Applicant

BUILDING / TRADES	Information Found on (Sheet #):
Soil Erosion Control Measures.	C3-01-00
Final Site Grading/Topography - 2' contour lines labeled with USGS datum.	C3-00-00
USGS First Floor Elevation of Buildings.	C3-00-00
Locations, Dimensions, Area, Use and Construction Type of All Buildings.	AE01-01-00 G01-00-00
ADA Compliance - Parking, routes, accessible dwellings, fixtures, etc.	AE01-01-00
Occupant Egress Path from All Structures.	AE01-01-00 G01-00-00
Fire Separation Distance.	AE01-01-00



Site Plan Review Application

KDPS - FIRE MARSHAL	<i>Applicant</i> Information Found on (Sheet #):
Emergency Entry:	
<ul style="list-style-type: none"> A Knox key vault box 3200 series or larger is required at the entry to a building. Multiple may be required. 	TBD
<ul style="list-style-type: none"> Emergency egress cannot cross the roof and needs to be protected and illuminated. 	TBD
<ul style="list-style-type: none"> A Knox elevator key box shall be installed adjacent to any elevator. 	TBD N/A
Fire Lane:	
<ul style="list-style-type: none"> Fire access lanes, when required, shall be a minimum of 24' wide and provide 13' 6" height clearance. Signage shall be erected to prohibit parking in this designation 	C2-00-00 & C2-01-00
<ul style="list-style-type: none"> Turning radius of parking lots and fire access lanes shall be constructed to allow turning and full operation of fire apparatus during an emergency 	C2-01-00
<ul style="list-style-type: none"> Dead-end access roads and parking lots in excess of 150 feet in length shall be provided with approved provisions for the fire apparatus to turn around 	C2-01-00
<ul style="list-style-type: none"> Overhangs, sky walks, bridges or other similar structures shall be approved by the Fire Marshal's Office. Engineered specs shall be provided 	NA
<ul style="list-style-type: none"> Security gates restricting access shall be approved pursuant to Code. Approved fences, gates or other barriers shall be accessed through Knox padlocks or access switches 	NA
<ul style="list-style-type: none"> Parking lots, driveways and service & access drives shall be designed and constructed to allow the maneuverability and weight of fire service aerial devices 	C2-00-00 & C2-01-00
Fire Hydrants:	
<ul style="list-style-type: none"> Hydrants not publicly owned cannot be considered for use for SPR. 	C4-00-00
<ul style="list-style-type: none"> Placement shall be approved by the Fire Marshal's Office. 	TBD
<ul style="list-style-type: none"> Shall not be more than 300 feet from the site 	C4-00-00
<ul style="list-style-type: none"> Fire hydrant spacing shall not exceed 300 feet from each hydrant. 	C4-00-00
Addressing:	
<ul style="list-style-type: none"> Building identification shall be placed in a position that is plainly legible and visible from any street or road fronting the property 	AE2-00-01
<ul style="list-style-type: none"> Those properties fronting more than one street or road shall identify the address by both number and street name on each side of road frontage 	NA
<ul style="list-style-type: none"> The address numbers and street name shall contrast with their background 	AE2-00-01
<ul style="list-style-type: none"> Commercial structures shall have address numbers at least 12" to 24" high, as determined by the Fire Marshal 	AE2-00-01
<ul style="list-style-type: none"> Address letters indicating street names shall be 6" to 24", height to be approved by the Fire Marshal 	AE2-00-01



Site Plan Review Application

Applicant

KDPS - FIRE MARSHAL - continued	Information Found on (Sheet #):
Fire Department Connections (FDC):	
<ul style="list-style-type: none"> • Immediate access to FDC shall be maintained in clear view without obstruction by parked vehicles, fences, bushes, trees, walls, dumpsters or any other object 	N/A
<ul style="list-style-type: none"> • The FDC shall be located in a location approved by the Fire Marshall's office. 	N/A
<ul style="list-style-type: none"> • The FDC shall be within 100' of a fire hydrant. 	N/A
<ul style="list-style-type: none"> • The Fire Department Connections (FDC) shall have Knox 5" Locking storz FDC Plugs Model 5002. 	N/A
<ul style="list-style-type: none"> • The FDC shall be accessible by hard surfaced pavement which is maintained during all-weather environments. Hard surface shall be cement or asphalt. The width shall allow a vehicle or hose line to be advanced or connected 	N/A
<ul style="list-style-type: none"> • FDC shall be so located so that fire apparatus and hydrant lines connected to supply the system will not obstruct access to the buildings for other fire apparatus. 	N/A
<ul style="list-style-type: none"> • FDC shall have an exterior rated horn and strobe device above the FDC at a minimum 10' above grade in height. Device shall be in clear view to approaching fire apparatus. The horn and strobe shall remain active until manually reset. 	N/A
FDC Placement:	
<ul style="list-style-type: none"> • Fire department connections not remotely located shall be located on the street side of the building 	N/A
<ul style="list-style-type: none"> • FDC's not remotely located shall be fully visible and recognizable from the street 	N/A
<ul style="list-style-type: none"> • The FDC shall be identifiable to approaching fire apparatus. 	N/A
FDC Signage:	
<ul style="list-style-type: none"> • The FDC shall be indicated by an approved sign mounted on the street, front, side of the building or adjacent to a remotely located FDC 	N/A
<ul style="list-style-type: none"> • FDC signage shall have the letters "FDC" at least 6 inches high. The letters shall be a Arabic or Helvetica style font 	N/A
<ul style="list-style-type: none"> • FDC Signage shall be installed at a minimum 10' above grade or above obstructions above the connection. The signage shall be mounted directly above the exterior horn and strobe that is tied to the fire alarm and fire suppression systems. 	N/A
<ul style="list-style-type: none"> • FDC signage shall be reflective with white letters with a red background. All such signs shall be subject to the approval by the Fire Marshal. 	N/A



Site Plan Review Application

	<i>Applicant</i>
PUBLIC SERVICES - TRANSPORTATION & UTILITIES	Information Found on (Sheet #):
Location and Dimensions of New Rights-of-Way.	
Site Access for All Modes (Vehicle, Pedestrian, Bicycle, Transit) - Location, approach type, dimension, radii, materials, signage.	C1-00-00
Access & Circulation of Site or Proposed Street Network.	C2-00-00
Improvements to Existing Off-Site Rights-of-Way for All Modes (Vehicle, Pedestrian, Bicycle, Transit).	C2-00-00
Timeline of Proposed Right-of-Way Work, Street Closures, Lane Restrictions, or Sidewalk Closures.	C3-01-00
Location and Dimension of Proposed Traffic Control Measures - Acceleration, deceleration, passing lanes, traffic signals or signs.	N/A
Location and Dimension of Utilities & Easements - Gas, electric, phone, cable, etc.	C1-00-00 & C4-00-00
Provide a Sheet to Demonstrate Turning Radius and Clearance for - City Kalamazoo Fire Apparatus, garbage trucks, delivery trucks, etc.	C2-01-00

	<i>Applicant</i>
PUBLIC SERVICES - SANITARY SEWER	Information Found on (Sheet #):
Sanitary Sewer Service Lateral Location and Sizing:	
<ul style="list-style-type: none"> All existing & proposed new, including identification & depth of underground utility crossings 	C4-00-00
<ul style="list-style-type: none"> Invert elevation of existing lateral at ROW/easement lines which will continue to be active 	C4-00-00
<ul style="list-style-type: none"> Invert Elevation of proposed new lateral at ROW/easement line 	C4-00-00
<ul style="list-style-type: none"> Sanitary main U.S. invert elevation 	C4-00-00
<ul style="list-style-type: none"> Sanitary main D.S. invert elevation 	C4-00-00
Compliance with Chapter 28 of the City of Kalamazoo Ordinances & Engineering Best Practices.	
Discharge Basis of Design Flow Rate, Per Connection: Residential – Multi-Family 3+; Commercial – Restaurant, Laundry Facility, Manufacturing, Hotel/Motel, Medical, and others, as required.	
<ul style="list-style-type: none"> Contribution Per REU (gpd) 	3.5 REU
<ul style="list-style-type: none"> Total REU's with justification/calculation 	3.5 REU
<ul style="list-style-type: none"> Average Flow Rate (gpm) 	0.49
<ul style="list-style-type: none"> Peaking Factor with justification/calculation 	4
<ul style="list-style-type: none"> Peak Flow Rate (gpm) 	1.9

If a new connection is proposed, a Sanitary Sewer Connection Application Form is required



Site Plan Review Application

Applicant

PUBLIC SERVICES - WATER	Information Found on (Sheet #):
Location & Capacity of Water Main, Water Service, and Hydrants.	
For New Water Service, Also Detail:	
• Size of line required	C4-00-00
• Use for fire service	N/A
• Domestic meter size required	TBD
• Irrigation meter size required	TBD
For New Public Water Mains:	
• Located in public right-of-way -or - Located in easement dedicated to CoK	N/A
• MDEQ PA399 Permit Application	N/A
Number of New Hydrants <u> 0 </u>	
Fire Service (Note: Existing Systems May Require Inspection & Upgrade):	
• Locate cross-connections	N/A
• Backflow prevention devices	N/A

Applicant

PUBLIC SERVICES - STORMWATER	Information Found on (Sheet #):
SW Structures, Pipes, and Other Drainage System Components - Shown on plans and on detail sheets.	C4-00-00
Site Size (Small 1/2 acre or less, medium up to 1 acre, large over 1 acre) Determined.	N/A
Provide Stormwater Worksheets (from City of Kalamazoo templates):	
• Stormwater Calculations	C4-02-00
• Water Quality Treatment (Uniform Standard 1)	C4-02-00
• Channel Protection Volume (Uniform Standard 2)	C4-02-00
If Discharging to County Drain or MDOT System - Contact appropriate authority for more information, additional standards, and permitting.	N/A
Provide Permit Documentation Required by MEGLE for Floodplain, Wetlands, and Discharge to Surface Waters.	N/A
Feasibility of Runoff Infiltration - Depends on soil type, groundwater depth, capture zone, existing environmental contamination, and/or proposed use of regulated substances. If infiltration will be restricted, basins/other infiltrative surfaces shall be lined with impervious material with minimum 60-mill (0.060 or 1/16-inch) thickness.	C4-02-00
Buffer Adjacent to Water Features On/Near Site.	N/A
Existing or Planned Manufactured Treatment Devices (MTDs), Retention/Detention Basins, Rain Gardens & Swales - Will require a recorded Stormwater Operation and Maintenance Agreement with the City of Kalamazoo.	C4-02-00



Site Plan Review Application

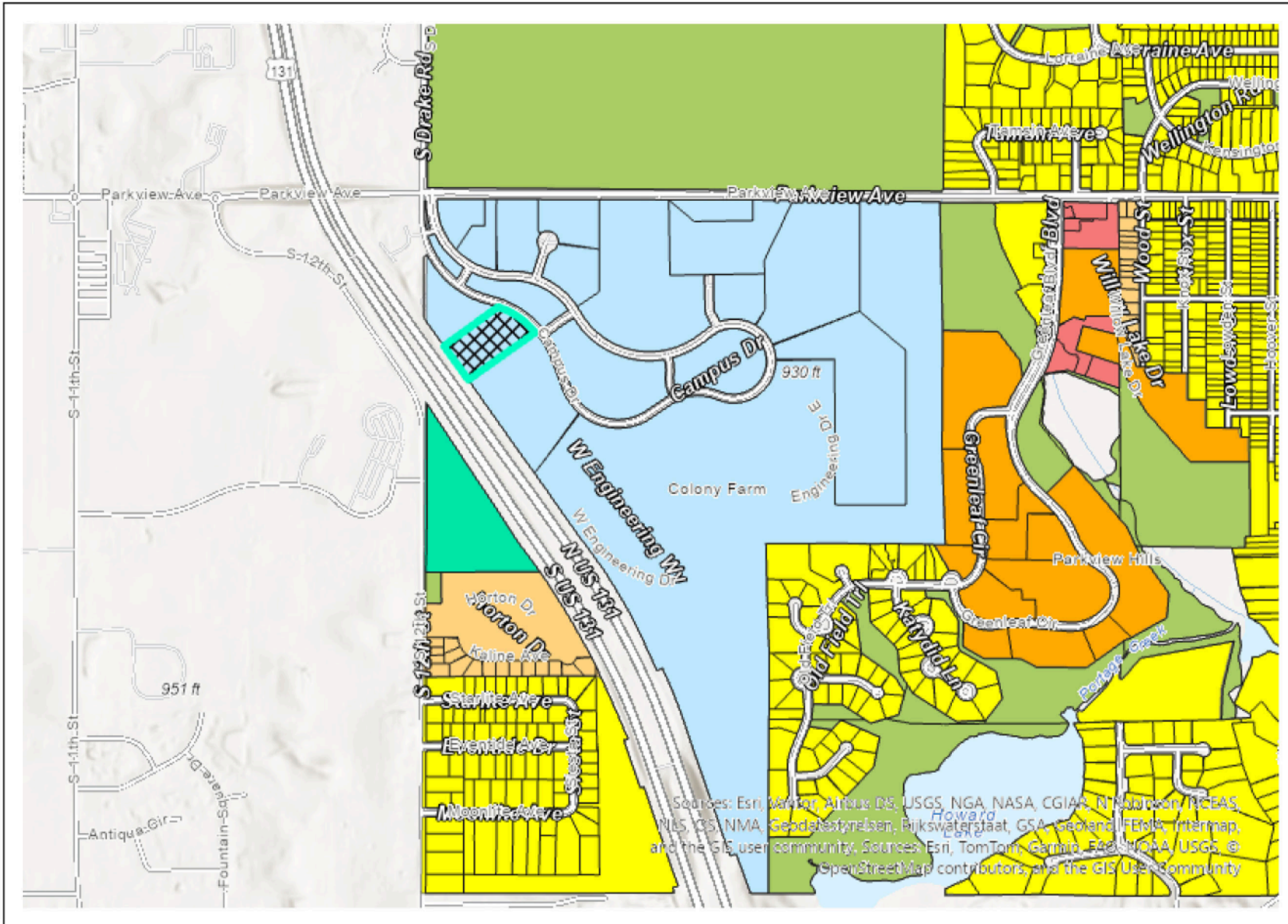
Applicant

PUBLIC SERVICES - ENVIRONMENTAL / WELLHEAD PROTECTION	Information Found on (Sheet #):
Compliance with Wellhead Protection & Stormwater Management Performance Standards. Include the following information within the plan set:	
<ul style="list-style-type: none"> Note whether de-watering is or is not anticipated, 	See geotech report
<ul style="list-style-type: none"> Management of abandoned wells, cisterns, dry wells, generators and above or underground storage tanks, including information on installation, operation, capping, or removing, 	N/A
<ul style="list-style-type: none"> Installation of new well (temporary, permanent or geothermal) with or without a Reduced Principle Backflow Prevention Assembly. 	N/A
<ul style="list-style-type: none"> Property/site/floor drains or sump pumps present? Detail connection to sanitary or storm sewer, on-site holding tank with pumping/disposal plan, or other. 	N/A
<ul style="list-style-type: none"> Detail direct or indirect discharge into or toward a storm sewer, drain, wetland, pond, lagoon, or other surface water feature? 	N/A
<ul style="list-style-type: none"> Detail all grade changes, cutting, and fill, including management of existing vegetation and soil erosion and/or sedimentation. 	C3-00-00
<ul style="list-style-type: none"> Note whether an existing snow melt system is present or whether one is proposed. 	C2-00-00
Submit Environmental Reports (ESA, BEA, DCP, or other). Refer to the Performance Standards on Infiltration.	N/A
Provide completed Chemical Inventory & Storage (CSI) Forms 1 & 2. If no chemicals used/stored on site, write 'N/a' in all applicable boxes.	N/A
A Spill Containment Plan (SCP) is required if - Chemicals used/stored on-Site exceed the quantities stated on the CSI Form.	N/A




Site Plan Review Forms / Documents & CoK Code Standards can be found on the Site Plan Review Webpage, by visiting:

kalamazoo.org/SitePlanResources

P.C. #2026.05 - 4755 CAMPUS DRIVE BTR SITE PLAN



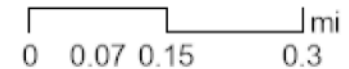
FUTURE LAND USE

-  Subject Property
-  Subject Property
-  Other Property

FLU Category

-  Campus
-  Campus/Private
-  Commercial
-  Open Space/Parks
-  R1-Residential
-  R2-Residential
-  R3-Residential

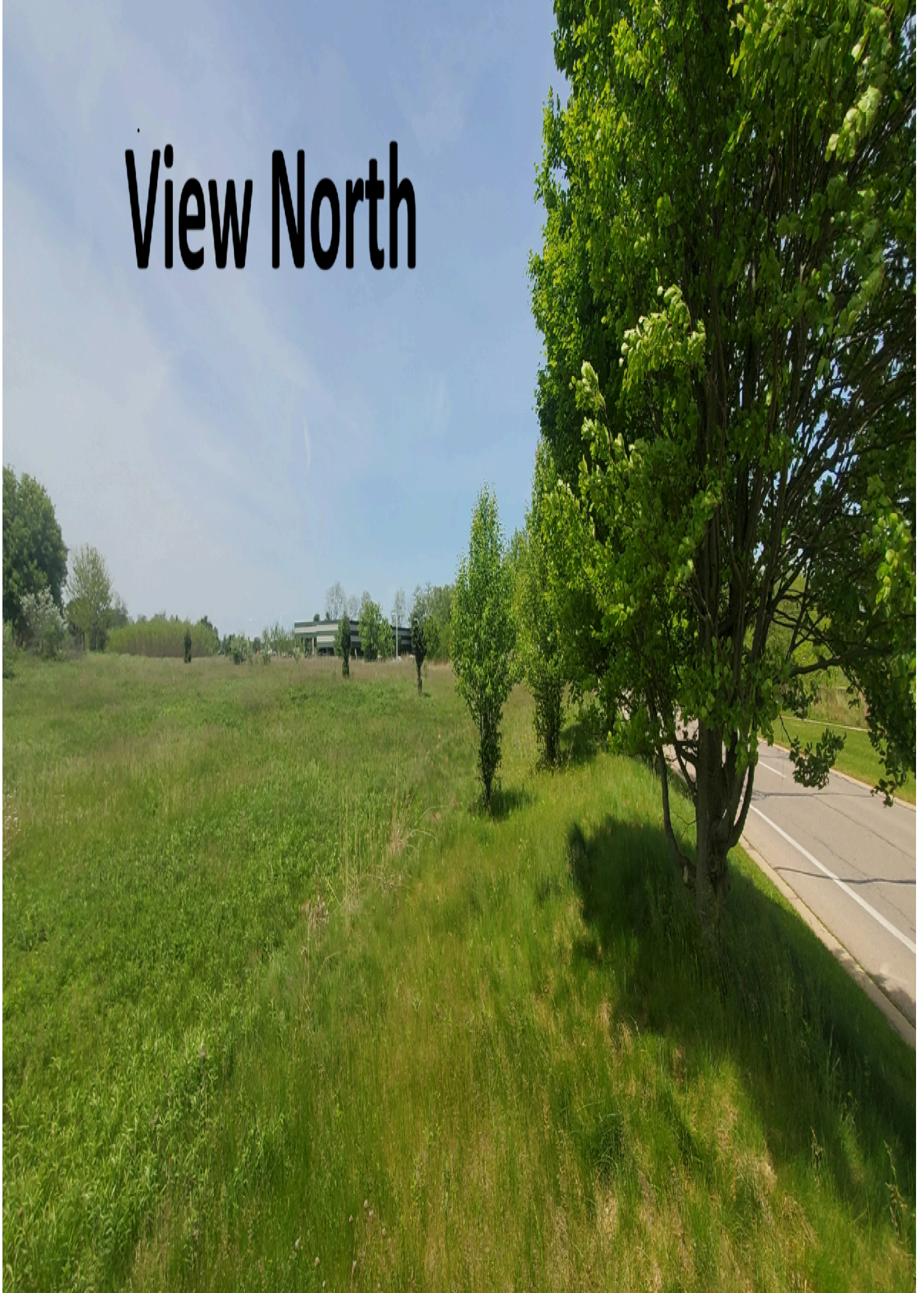
Sources: Esri, DeLorme, Airphoto, US, USGS, NGA, NASA, CGIAR, NAD, IGNON, ICEAS, NLS, OS, NMA, Geodatenruimte, Rijkswaterstaat, GSA, Geoland, FEOLIX, Intermap, and the GIS user community. Sources: Esri, TomTom, Garmin, Esri, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



View of Property From Campus Dr



View North



Looking South



Year 2026	Project Address	Project Description	Date Checklist App. Received	Checklist Meeting Held	Checklist Approved	Date Site Plan Received	Date Site Plan Meeting Scheduled	Committee Meeting Date	Site Plan Review Status	Final Site Plan Approval Date
PSP26-001	4515 Green Acres Drive	Two Building Additions (Kalamazoo Protestant Reformed Church)	12/4/2025	1/7/2026	1/9/2026	1/28/2026	1/29/2026	2/25/2026	Approved	5/6/2026
PSP26-002	436 W Willard Street	Pave Existing Gravel Lot (Clark Logic)	6/10/2025	7/16/2025	7/18/2025	3/13/2026	3/18/2026	4/15/2026	Approved	5/26/2026
PSP26-003	3616 Stadium Drive	Site Redevelopment for a New Car Dealership (LaFontaine Automotive Group Mazda)	9/9/2025	10/15/2025	10/17/2025	2/23/2026	2/25/2026	3/25/2026	Under Review	
PSP26-004	3718 Stadium Drive	Building Addition and Site Work for a Car Dealership (LaFontaine Automotive Group Mercedes-Benz)	9/9/2025	10/1/2026	10/3/2026	2/23/2026	2/25/2026	3/25/2026	Under Review	
PSP26-005	1617 N Drake Road	Phase I: Tree Clearing for Youth Sports Complex (Westgate Sports Complex)	1/26/2026	2/11/2026	2/13/2026	3/18/2026	3/18/2026	4/1/2026*	Approved	4/2/2026
PSP26-006	918 Riverview Drive	Site Redevelopment for a New Gas Station (7-11/Speedway)	2/6/2026	2/18/2026	2/2/2026	3/18/2026	3/24/2026	4/22/2026	Under Review	
PSP26-007	817 S Westnedge Avenue	Change of Use to a Commercial Kitchen	1/27/2026	2/18/2026	2/20/2026	3/24/2026	3/25/2026	4/29/2026	Approved	5/1/2026
PSP26-008	1617 N Drake Road	Phase II: Indoor Youth Sports Complex Development	1/26/2026	2/11/2026	2/13/2026	4/1/2026	4/2/2026	4/29/2026	Under Review	
PSP26-009	1204 E Alcott Street	Demolition, New Regulation Building, and Site Work (Consumers Energy)	2/6/2026	3/4/2026	3/6/2026	4/6/2026	4/9/2026	5/6/2026	Approved	5/6/2026
PSP26-010	825 Porter Street (includes 901 N Pitcher Street)	New Mixed-Use Development (825 Porter) and Parking Lot (901 Pitcher)	2/6/2026	3/4/2026	3/6/2026	4/16/2026	4/22/2026	5/13/2026	Under Review	
PSP26-011	314 S Park Street	New Building Addition (Kalamazoo Institute of Arts)	3/6/2026	3/18/2026	3/20/2026	4/30/2026	5/5/2026	5/27/2026	Under Review	
PSP26-012	4755 Campus Drive	Development of a New Office Building and Site Work (Owen Ames Kimball)	2/16/2026	3/11/2026	3/13/2026	5/8/2026	5/12/2026	6/3/2026	Under Review	
PSP26-013	1008 E Crosstown Parkway	Automotive Recycling Facility (Flowers Automotive Recyclers)	10/16/2026	10/29/2026	10/31/2026	5/7/2026	5/8/2026	6/3/2026	Under Review	