

# Agenda

## Zoning Board of Appeals

City of Kalamazoo



Thursday, September 10, 2026

7:00 PM

City Commission Chambers – 241 West South Street

**A. CALL TO ORDER/ROLL CALL**

**B. APPROVAL OF MINUTES**

1. Approval of minutes from the Zoning Board of Appeals meeting on August 13, 2026

**C. COMMUNICATIONS AND ANNOUNCEMENTS**

**D. PUBLIC HEARINGS**

1. ZBA #26-09-13: 4710 Stadium Drive. American Gas & Oil, Inc. is requesting a variance from Chapter 50-5.1 B (2) (a), to authorize relief from installation of sidewalk along the north 30 feet of frontage along Drake Road. Please note the applicant will install sidewalks for the remainder of the frontage along Drake Road to the intersection.

**E. DISCUSSION/ACTION ITEMS**

**F. REPORTS**

**G. ADJOURNMENT**

**MINUTES  
CITY OF KALAMAZOO  
ZONING BOARD OF APPEALS  
August 13, 2026 - 7:00 p.m.  
CITY COMMISSION CHAMBERS**

**Members Present:** Joe Hohler III, Allison Haan, Remi Harrington, Tony McReynolds, Gary Wark, and Alan Sylvester (Alternate)

**Members Absent:** Beth van den Hombergh

**City Staff:** Pete Eldridge, Zoning Administrator; Charles Bear, Assistant City Attorney; Shelby Donaldson, Recording Secretary

**Chair Hohler called the meeting to order at 7:00 p.m.**

**Mr. Eldridge performed a roll call of the board members present for the meeting.**

**Chair Hohler asked if there were any changes to the original agenda and Mr. Eldridge said there are no changes, and Attorney Bear will not be present, but he spoke to him at length regarding this case and they felt legal counsel wouldn't be necessary but he would call Attorney Bear if that changes.**

**APPROVAL OF MINUTES:**

**Mr. Wark moved to approve the minutes for April 9, 2026, as submitted, seconded by Ms. Haan.**

**The minutes were approved by voice vote unanimously.**

**Mr. Wark moved to approve the minutes for July 9, 2026, as submitted, seconded by Ms. Haan.**

**The minutes were approved by voice vote unanimously.**

**PUBLIC HEARINGS:** Chair Hohler summarized the process and explained the Zoning Board of Appeals public hearing rules of procedures. For each request, the secretary will read the application into the public record. The applicant or their representative will have 10 minutes to present their comments, followed by public comments in favor of the application where they will state their name and address and speak for three minutes. Following that those in opposition will be invited to speak for three minutes. The public can call in to 888-382-9556 to enter a queue to comment live for any property on the agenda and will no longer be able to leave a recorded message, then the public hearing will be closed on that request. The Board would then conduct the finding of

facts. The Board must approve the Finding of Fact. Therefore, the first vote you hear is not a ruling on the request, but the Finding of Fact, then the Board discusses the request in order to determine a ruling. The Board reserves the privilege to ask questions of persons who have already spoken even though the public comment portion is closed. The board discussion has ended the Board moves onto a roll call vote. A full board consists of six members, and four affirmative votes are required to grant a motion for a non-use or use variance.

Ms. Harrington read the application for 4423 West KL Avenue into the record.

**ZBA#26-08-12: 4423 West KL Avenue: An application for a use variance for the provisions of the Zoning Ordinance has been filed with the Zoning Board of Appeals by IMR Realty. IMR Realty is requesting a use variance from Chapter 50-4.5D (3)(a)[3], to authorize a drive-up window in the front yard (West Michigan Avenue frontage), where drive throughs in the CC-2 District are only permitted in the side and rear yards.**

Please note that this request will not change the zoning classification of the property. This is a request for a variance only regarding the items described above.

Ms. Marcia Rashid, of IMR Realty, is seeking a variance at 4423 West KL Avenue and stated the west side of the property is very restricted, so they are looking to add a drive through window on the southwest side of the building. She said it would be for a laundromat, and they would like to provide quick service, which is why they would like to do the drive through window. She said she knows the notices were posted on July 27 to the Kalamazoo Gazette, as well as communications sent to nearby properties, so the variance will allow them to route cars through and let guests drop off and pick up laundry, and keep going and stated it would be, at most, a three car stack, but there is plenty of room on the southwest side of the building and added that on the west side there is no room which is why they're seeking the variance.

Chair Hohler asked for staff comments, and Mr. Eldridge stated staff is supportive of the variance because of the history and the positioning of the building, which is quite close to the west property line. He said he tried to uncover as much as he could about the property and at one time this was a gas station, so the convenience store portion was the north-south portion of the building along the west property line, and then the more narrowed portion of the property to the east was where the gas pumps were, and when those went away at a later date, the addition was put on the building that extended to the east, is now where the tattoo shop is, and that's the second tenant space. He added that the first practical difficulty, or hardship that was identified, was the positioning of the building, and the reason that creates a difficulty is in the CC-2 zone district, drive throughs are permitted in the side and rear yards if properly screened, but not in the front yard and because this building has frontage on two public streets and is roughly four to five feet off the west property line, there is no side or rear yard area to put drive up window or lane in addition to the fact the property is a double frontage lot, it creates some difficulty. He wanted to comment that he measured the lane behind the building and it was 14 ½ feet from the corner of the building to the curb, adjacent to where the sidewalk is, so there is ample space for a one-way drive to come through there and as you go to the west, the property widens out so there is space to put screening on Michigan Avenue. Mr. Eldridge added that Michigan is not a very busy street so if you're going to put a drive-up window or a drive through in a front yard, placing it on what is deemed a public street but not heavily used because it dead ends at the railroad tracks, that would be the right side of the building to put this window on. There's a parking layout shown, but it's in concept only and

this still needs to go through site plan review to make sure that traffic circulation meets everything, there's the ability to get a fire truck onto the premises, that's the next step after this meeting if this project continues on, it will be to finalize plans and go through site plan review and will also look at landscaping between drive through lane to the window and the south property line along West Michigan Avenue, and that would be addressed at that point in time. He reiterated staff is in support because of the unique circumstances.

Chair Hohler asked if anyone wanted to speak in favor of the variance and there was no one.

Chair Hohler asked if anyone wanted to speak against the variance and there was no one.

Chair Hohler asked if there were any call in comments and there were none.

Chair Hohler closed the public hearing.

## **FINDING OF FACT**

Mr. McReynolds moved the Finding of Fact as follows:

- 1) The Finding of Fact for 4423 West KL Avenue shall include all information included in the notice of public hearing dated July 27, 2026, and the agenda packet staff provided for this request.
- 2) 17 notices of public hearing were sent, and no responses were received.
- 3) A public hearing was held before the board and public comments, and telephone calls were accepted.
- 4) The Finding of Fact shall include all facts and comments made during the public hearing which are summarized to include, without limitation, the following:

There were no responses or public call-ins. Some things that were addressed were the positioning of the property that existed prior to the variance request, and it is on a double frontage lot.

**Mr. Wark seconded the Finding of Fact.**

**Motion was approved for the Finding of Fact unanimously by voice vote.**

**Mr. Wark moved to approve the application for a use variance from Chapter 50-4.5D (3)(a)[3], to authorize a drive-up window in the front yard (West Michigan Avenue frontage) where drive throughs in the CC-2 District are only permitted in the side and rear yards, seconded by Mr. Sylvester.**

Discussion:

Chair Hohler stated he didn't disagree with anything in the staff report and had Mr. Eldridge not mentioned this is a double frontage aspect explicitly, he would have asked about picking two front yards out of three sides, and that seems the best place put a drive through than asking for it to be put on it on the West KL frontage, and he was trying to picture where West Michigan is but remembered it dead ends where the train tracks slice thru it. He said he feels the staff report gets it right.

Mr. Wark stated he agrees and supports.

**Motion was approved unanimously by a roll call vote.**

**E. DISCUSSION/ACTION ITEMS:**

**F. REPORTS**

**G. ADJOURNMENT**

**OTHER BUSINESS:**

**The meeting was adjourned at 7:39 p.m.**

**Submitted By** \_\_\_\_\_ **Date** \_\_\_\_\_  
Recording Secretary

**Reviewed By** \_\_\_\_\_ **Date** \_\_\_\_\_  
City Staff

**Approved By** \_\_\_\_\_ **Date** \_\_\_\_\_  
Chair



# Zoning Board of Appeals Staff Report

City of Kalamazoo

Date: **9/10/2026**

Item: **D.1.**

**TO:** Zoning Board of Appeals

**FROM:** Reviewed by: Bobby Durkee, AICP, Assistant City Planner  
Prepared by: Pete Eldridge, AICP, Zoning Administrator

**DATE:** September 10, 2026

**SUBJECT:** ZBA #26-09-13: 4710 Stadium Drive. American Gas & Oil, Inc. is requesting a variance from Chapter 50-5.1 B (2) (a), to authorize relief from installation of sidewalk along the north 30 feet of frontage along Drake Road. Please note the applicant will install sidewalks for the remainder of the frontage along Drake Road to the intersection.

## BACKGROUND:

The .78 acre site is located in the CC District. It is improved with a gas station that has a 1,196 square foot convenience store and canopy over the fuel pump islands. The owner of the property would like to redevelop the site with a new gas station and 4,602 square foot convenience store. This request seeks to maintain the existing pump and canopy location with the existing approaches to S Drake and Stadium Drive to remain in the current location with the site rebuilt with those items not changing.

The gas station is owned by American Gas & Oil, who will continue to operate the proposed new facility, replacing the structure built in 1993. The existing accessory building housing a car wash will be removed and no replacement car wash is proposed. The redevelopment of the site anticipates the current stormwater standards of the City of Kalamazoo and features increased onsite storage and current treatment structure requirements. The Planning Commission approved the Special Use Permit for this project on May 7, 2026. The project will still need to complete the Site Plan Review process.

The project started Site Plan Review in May 2026. Properties being redeveloped must add sidewalks as part of the project, which aligns with the Zoning Ordinance and the City Street Design Manual. The site currently has sidewalk along Stadium Drive but none along Drake Road. The applicant does plan to install a sidewalk along Drake Road starting at the Stadium Drive intersection and extending north past the access driveway. This will result in approximately 130 feet of new sidewalk. The applicant will also install curb ramps for the Drake Road sidewalk on the north and south sides of the driveway, creating a dead-end stub. There is no sidewalk on the frontage of the business to the north where the 30-foot gap will be along that Drake Road frontage. However, the applicant is seeking a variance for the remaining

30 feet north of the sidewalk due to the topography (steep slope), existing public utilities, and a mature tree along this frontage. The applicant has expressed interest in participating in extending the sidewalk when the properties to the north are redeveloped or if part of road work to add sidewalk one day in the future to eliminate the steep slope that currently exists.

## **STRATEGIC VISION ALIGNMENT:**

**Economic Vitality** — A supportive infrastructure for growing businesses and stabilizing the local economy for the benefit of all.

### Strategic Goal Impact:

Economic Vitality — A supportive infrastructure for growing businesses and stabilizing the local economy for the benefit of all.

## **COMMUNITY ENGAGEMENT:**

**Inform (one-way conversation)** – no feasible alternatives available due to legal/regulatory restrictions, standards and best practices, or resource limitations; the community will be made aware of the project.

### Appropriate Depth of Engagement

A notice was published in the Kalamazoo Gazette on August 26, 2026. Notice of the public hearing was also mailed out to all property owners within 300 feet of the subject property. A notice was also sent to the Arcadia Neighborhood Association.

### Engagement/Communication Tools

Newspaper, mailings to property owners, and applicant outreach. There is no active neighborhood association in this area.

## **FINDINGS:**

Staff has made the following findings regarding this request:

1. That there are special circumstances or conditions (like exceptional topographic conditions, narrowness, shallowness, or the shape of property) that are peculiar to the land or structure for which the variance is sought, that is not applicable to other land or structures in the same zone district.

**There are special circumstances associated with the topography of the northern portion of the property. Due to the steep slope of the green space in the right-of-way, tree removal and a significant retaining wall would be necessary to allow for the construction of the sidewalk. There is no sidewalk to the north on the other existing commercial properties that face Drake Road. In this instance, the applicant has**

**shown good faith by adding sidewalk along the frontage until it reaches a point where elevation and landscaping make the work impact more than just their property, and require engineering to public sidewalk standards.**

2. That there are special circumstances which are not the result of the actions of the applicant or titleholder of the land.

**The special circumstances are the result of development activity related to development of the subject property, the commercial property north of this site and the widening of Drake Road years ago. These improvements predate the current owner of 4710 Stadium Drive and the current zoning standard to add sidewalk when a project is in site plan review. The applicant has demonstrated the ability to meet the standard until it reaches the location where technical and design complications compound.**

3. That the literal interpretation and enforcement of the terms and provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other land in the same zone district, and would cause practical difficulty.

**The literal interpretation and enforcement of the terms and provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by others in the CC zone district. The Ordinance would require the installation of a sidewalk regardless of field conditions. Field conditions could be utility poles, property title, topography, or structures; the Ordinance can't anticipate varied field conditions. Therefore, the owner would have to spend additional time to design and install this section of sidewalk, with the same dead-end stub being the result.**

4. That the granting of the variance is the minimum action that will make possible the use of the land or structure that is not contrary to the public interest, and that would carry out the spirit of this Ordinance.

**The granting of this variance is the minimum action, as they are adding the sidewalk, where none exists along the frontage except for 30 feet of sidewalk due to the topography, tree location and existing utilities along the frontage. This is the minimum action that would avoid the premature removal of the tree when a sidewalk extension here would dead-end at the north property line with impacts to this property, the right-of-way, and potentially adjacent properties.**

5. That the granting of the variance will not adversely affect adjacent land in a material way.

**The granting of the variance will not adversely affect adjacent land in a material way. The adjacent properties are also commercially developed. There is a sidewalk connecting to the adjacent property on Stadium Drive. The adjacent property on Drake Road does not have a sidewalk and extending it to where the properties meet at the north would impact adjacent properties in a material way.**

6. That the granting of the variance will be generally consistent with the purposes and intent of this Ordinance.

**Granting the variance is generally consistent with the Ordinance. Sidewalk will be missing for approximately 30 feet of the Drake Road frontage; the request is for a small portion of this parcel's Drake Road frontage, and there is no sidewalk on the adjacent property. There is a balance between public and private investment, along with development code regulations to develop and maintain the public sidewalk network in the City. By adding new length, up until where there are field challenges, it meets the intent of the Ordinance.**

7. Where the requested dimensional variance involves required landscaping, the Zoning Board of Appeals may grant a variance upon the following additional criteria: 1) existing landscaping, screening or wetlands intended to be preserved meets the intent of this section; 2) the landscape design proposed by the applicant meets the intent of this section; 3) there is a steep change in topography that would limit the benefits of required landscaping; 4) the proposed building and parking lot placement is setback well beyond the minimum required; 5) the abutting or adjacent land is developed or will be developed in the near future with a use other than residential; and 6) similar conditions to the above exist such that no good purpose would be served by providing the landscaping or screening required.

**This criterion does not apply to the requested variance.**

#### **RECOMMENDATION:**

Staff recommends approval because the request aligns with the decision criteria.



**Community Planning and Economic Development**

245 N. Rose Street, Ste. 100

Kalamazoo, MI 49007

PH: (269) 337-8044

FAX (269) 337-8429

[www.kalamazoocity.org](http://www.kalamazoocity.org)

**NOTICE OF PUBLIC HEARING**

August 26, 2026

**RE: ZBA #26-09-13  
4710 Stadium Drive  
Parcel #06-30-150-001**

Dear Property Owner:

An application for a variance for provisions of the Zoning Ordinance has been filed with the Zoning Board of Appeals by American Gas & Oil, Inc. for 4710 Stadium Drive in the Commercial – Community District (CC).

The applicant is requesting a variance from Chapter 50-5.1 B (2) (a), to authorize relief from installation of sidewalk along the north 30 feet of frontage along Drake Road. Please note the applicant will install sidewalks for the remainder of the frontage along Drake Road to the intersection.

Please note that this request will not change the zoning classification of the property. This is a request for variance only regarding the item described above.

The meeting will be held on Thursday, September 10, 2026, at 7 p.m. in the City Commission Chambers at City Hall, 241 W. South Street. This meeting will also be streamed live on the [City's Facebook page](#) and [YouTube Channel](#).

To examine documents related to this request or provide written comments, please contact Pete Eldridge at [eldridgep@kalamazoocity.org](mailto:eldridgep@kalamazoocity.org) or call (269) 337-8806. The agenda will be posted at <https://www.kalamazoocity.org/boards>

Sincerely,

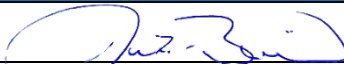
**Peter C. Eldridge, AICP**  
Zoning Administrator



## Community Planning & Economic Development

245 N. Rose Street, Suite 100 • Kalamazoo, MI 49007  
(269) 337-8026 • [www.kalamazoocity.org](http://www.kalamazoocity.org)

### ZONING BOARD OF APPEALS APPLICATION

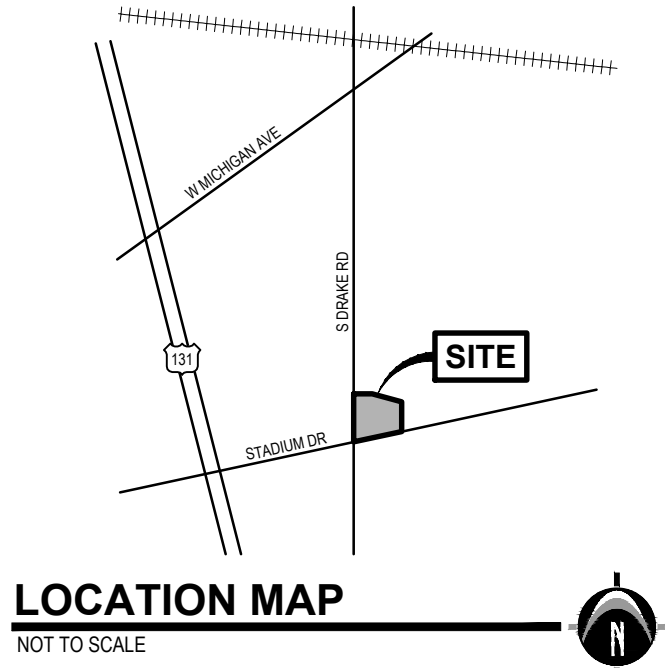
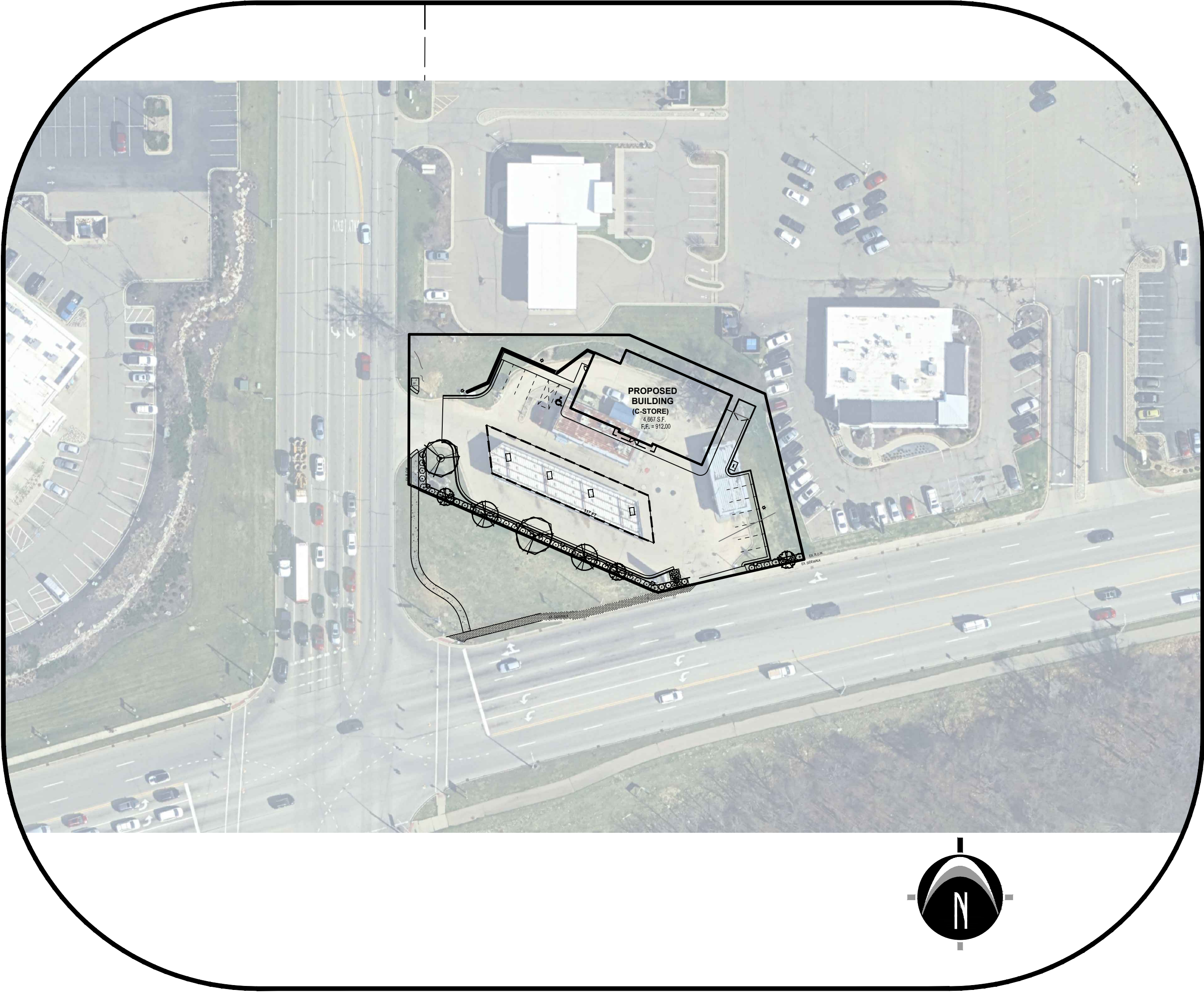
| APPLICANT INFORMATION                                                                                                                                                                                                                                |                                                                                                                         |                                                                                             |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|
| Name: American Gas & Oil, Inc.<br>(Attention: Jason Berris)                                                                                                                                                                                          | Mailing Address: 440 West Division; PO Box 247                                                                          |                                                                                             |
| City: Sparta                                                                                                                                                                                                                                         | State: MI                                                                                                               | ZIP Code: 49345                                                                             |
| Phone: (616) 887-0956                                                                                                                                                                                                                                | Email: j.berris@americango.biz                                                                                          | Preferred Contact: <input checked="" type="checkbox"/> Email <input type="checkbox"/> Phone |
| PROPERTY OWNER INFORMATION                                                                                                                                                                                                                           |                                                                                                                         |                                                                                             |
| <i>If the applicant is not the property owner, owner must sign application or provide a letter stating that owner gives consent for the application to be filed.</i>                                                                                 |                                                                                                                         |                                                                                             |
| Name: Applicant is the property owner                                                                                                                                                                                                                | Mailing Address:                                                                                                        |                                                                                             |
| City:                                                                                                                                                                                                                                                | State:                                                                                                                  | ZIP Code:                                                                                   |
| Phone:                                                                                                                                                                                                                                               | Email:                                                                                                                  | Preferred Contact: <input type="checkbox"/> Email <input type="checkbox"/> Phone            |
| PROPERTY INFORMATION                                                                                                                                                                                                                                 |                                                                                                                         |                                                                                             |
| Property Address(s): 4710 Stadium Drive                                                                                                                                                                                                              |                                                                                                                         |                                                                                             |
| Parcel Identification Number(s): 06-30-150-001                                                                                                                                                                                                       | Zone District ( <a href="http://kalamazoocity.org/maps">kalamazoocity.org/maps</a> ):                                   |                                                                                             |
| TYPE OF REQUEST                                                                                                                                                                                                                                      |                                                                                                                         |                                                                                             |
| <input checked="" type="checkbox"/> Dimensional Variance from Chapter(s) <u>50</u> , Section(s) <u>5.1B(2)</u>                                                                                                                                       | <input type="checkbox"/> Appeal of an Administrative Decision                                                           |                                                                                             |
| <input type="checkbox"/> Use Variance to allow _____                                                                                                                                                                                                 | <input type="checkbox"/> Interpretation of Zoning Ordinance, Chapter(s) _____, Section(s) _____                         |                                                                                             |
| <input type="checkbox"/> Natural Features Protection Variance                                                                                                                                                                                        | <input type="checkbox"/> Temporary Use Approval                                                                         |                                                                                             |
| Reason for Request: Requesting a variance to not have to construct a new sidewalk north of the existing driveway off Drake Road, due to significant elevation and utility challenges, as well as to save a large tree, in addition to other factors. |                                                                                                                         |                                                                                             |
| ATTACHMENTS                                                                                                                                                                                                                                          |                                                                                                                         |                                                                                             |
| <input checked="" type="checkbox"/> \$ <u>312</u> Fee                                                                                                                                                                                                | <input checked="" type="checkbox"/> Type Plan detailing variance request, plat, site plan, sketch plan can all be used. |                                                                                             |
| <input checked="" type="checkbox"/> Review Sheet for Request Type                                                                                                                                                                                    | Optional: Photos of property, architecture plans, etc.                                                                  |                                                                                             |
| Note: 10 days before meeting provide update on outreach to neighbors or provide any letters of support                                                                                                                                               |                                                                                                                         |                                                                                             |
| SIGNATURE                                                                                                                                                                                                                                            |                                                                                                                         |                                                                                             |
| Signature of Applicant:                                                                                                                                           |                                                                                                                         | Date: 8/18/26                                                                               |
| Signature of Owner (if different than applicant):                                                                                                                                                                                                    |                                                                                                                         | Date:                                                                                       |

# AGO - CITGO

## 4710 STADIUM DRIVE

CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

### SITE PLAN



#### SHEET INDEX

|                               |       |
|-------------------------------|-------|
| Cover Sheet                   | C-100 |
| Existing Site Conditions Plan | C-201 |
| Demolition Plan               | C-203 |
| Site Layout Plan              | C-205 |
| S.E.S.C. & Grading Plan       | C-300 |
| Utility Plan                  | C-400 |
| Details and Specifications    | C-500 |
| Landscape Plan                | L-100 |

#### TITLE DESCRIPTION

The land referred to in this policy is situated in the City of Kalamazoo, County of Kalamazoo, State of Michigan, and is described as follows:

Part of the Northwest 1/4 of Section 30, Town 2 South, Range 11 West, more particularly described as: Beginning at a point on the Easterly right of way line of 12th Street, which is North 0 degrees 09 minutes East 1099.88 feet and South 89 degrees 51 minutes East 33.00 feet from the West 1/4 post of said Section 30; thence North 0 degrees 09 minutes East 100.0 feet along the Easterly right of way line of 12th Street; thence South 89 degrees 51 minutes East 146.97 feet; thence South 66 degrees 32 minutes 13 seconds East 98.59 feet; thence South 13 degrees 16 minutes 52 seconds East 113.46 feet to the Northerly right of way line of Stadium Drive; thence Southwesterly along the arc of a 0 degree 30 minute curve to the left 100.0 feet, chord bearing of South 77 degrees 14 minutes 49 seconds West 100.00 feet radius of 11459.16 feet; thence North 66 degrees 32 minutes 13 seconds West 161.19 feet to the place of beginning.

Said property is also described as: Lot 1, West Towne Mall No. 1, according to the Plat thereof as recorded in Liber 31 of Plats, Page 22, Kalamazoo County Records.

#### BENCHMARKS

**BENCHMARK #54** ELEV. = 909.93 (NAVD88)  
Set benchmark on SE bolt of sign postlight pole. Located 64'± North of the centerline of Stadium Drive & 70'± East of the centerline of Drake Road.

**BENCHMARK #500** ELEV. = 917.64 (NAVD88)  
Set benchmark on SE flange bolt to hydrant. Located 229'± North of the centerline of Stadium Drive & 43.5'± East of the centerline of Drake Road.



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

www.nederveld.com  
800.222.1868

**GRAND RAPIDS**  
217 Grandville Ave., Suite 302  
Grand Rapids, MI 49503  
Phone: 616.575.5190

**ANN ARBOR**  
3037 Miller Rd.  
Ann Arbor, MI 48103  
Phone: 734.928.6963

**HOLLAND**  
730 Chicago Dr.  
Holland, MI 49423  
Phone: 616.393.0449

**PREPARED FOR:**  
American Gas & Oil, Inc.  
Attention: Jason Berris

440 West Division  
PO Box 247  
Sparta, MI 49345  
Phone: 616.887.0956

| REVISIONS:                                         |             |                |
|----------------------------------------------------|-------------|----------------|
| Title: Preliminary Concept Plan                    |             |                |
| Drawn: SW                                          | Checked: SW | Date: 02/13/26 |
| Title: Preliminary Concept Plan                    |             |                |
| Drawn: SW                                          | Checked: SW | Date: 03/11/26 |
| Title: Site Plan                                   |             |                |
| Drawn: SW                                          | Checked: SW | Date: 03/23/26 |
| Title: Site Plan - Special Use Submittal           |             |                |
| Drawn: SW                                          | Checked: SW | Date: 04/02/26 |
| Title: Site Plan Submittal                         |             |                |
| Drawn: SW                                          | Checked: SW | Date: 05/19/26 |
| Title: Site Plan Resubmittal                       |             |                |
| Drawn: SW                                          | Checked: SW | Date: 08/07/26 |
| Title: Site Plan ZBA and Final Site Plan Submittal |             |                |
| Drawn: SW                                          | Checked: SW | Date: 08/18/26 |
|                                                    |             |                |
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AGO - CITGO  
4710 STADIUM DR.

Cover Sheet

4710 Stadium Drive  
PART OF THE NORTHWEST 1/4 OF SECTION 30, T2S, R11W,  
CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

SEAL:

**PROJECT NO:**  
26200097

**SHEET NO:**  
**C-100**  
1 OF 8

BENCHMARKS

**BENCHMARK #54** ELEV. = 909.93 (NAVD88)  
Set benchmark on SE bolt of sign post/light pole. Located 64± North of the centerline of Stadium Drive & 70± East of the centerline of Drake Road.

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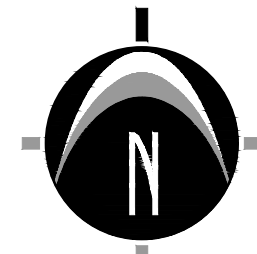
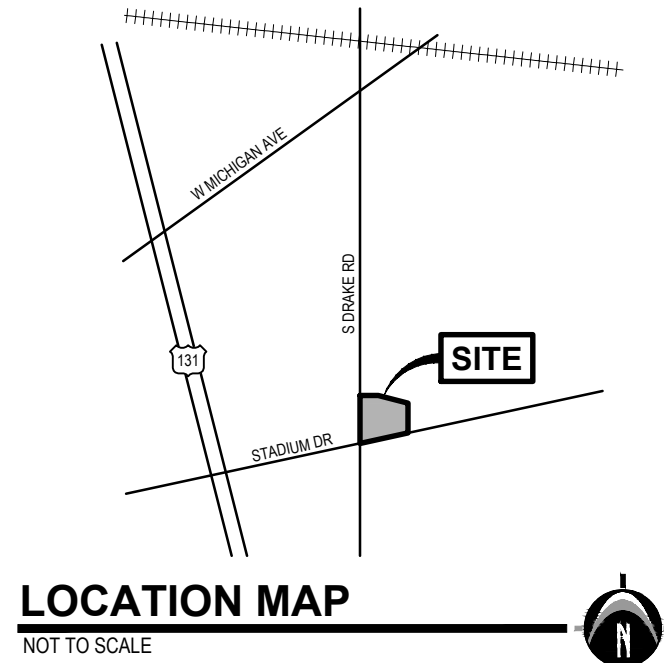


Know what's below.  
CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

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Experience . . . the Difference



0' 10' 20' 40'  
SCALE: 1" = 20'

TITLE INFORMATION

The Title Description and Schedule B items hereon are from Transnation Title Agency of Michigan Lakeshore Division, File No. 483355LKS, dated March 18, 2026.

TITLE DESCRIPTION

Part of the Northwest 1/4 of Section 30, Town 2 South, Range 11 West, City of Kalamazoo, Kalamazoo County, Michigan, more particularly described as: Beginning at a point on the Easterly right of way line of 12th Street, which is North 0 degrees 09 minutes East 1099.88 feet and South 89 degrees 51 minutes East 33.00 feet from the West 1/4 post of said Section 30; thence North 0 degrees 09 minutes East 100.0 feet along the Easterly right of way line of 12th Street; thence South 89 degrees 51 minutes East 146.97 feet; thence South 66 degrees 32 minutes 13 seconds East 98.59 feet; thence South 13 degrees 16 minutes 52 seconds East 113.46 feet to the Northerly right of way line of Stadium Drive; thence Southwesterly along the arc of a 0 degree 30 minute curve to the left 100.0 feet, chord bearing of South 77 degrees 14 minutes 49 seconds West 100.00 feet radius of 11459.16 feet; thence North 66 degrees 32 minutes 13 seconds West 161.19 feet to the place of beginning.

Said property is also described as; Lot 1, West Towne Mall No. 1, according to the plat thereof as recorded in Liber 31 of Plats, Page 22, Kalamazoo County Records.

SCHEDULE B - SECTION II NOTES

15. Terms, conditions and provisions of Highway Easement Release recorded in Liber 393, Page 101. The easement described in this document is shown on this survey.
17. Right(s) of Way and/or Easement(s) and the rights incidental thereto, as granted in a document: Granted to: Consumers Power Company (now known as Consumers Energy) Liber: 407, Page: 19, as amended in Liber 904, Page 175. The easement described in this document is a blanket easement over 10 rods of North of the Northerly line of Stadium Drive (old US-12).
18. Right(s) of Way and/or Easement(s) and the rights incidental thereto, as granted in a document: Granted to: Consumers Power Company (now known as Consumers Energy) Liber: 909, Page: 606, as re-recorded in Liber 911, Page 957. The easement described in this document is a blanket easement. The approximate route to be taken described in this document is shown on this survey.
19. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based on race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document: Liber: 2099 Page: 1385. This document affects the subject property. No survey matters to depict.
20. Terms, conditions and provisions of Environmental Access Easement recorded in Instrument Number 2000-020469. The easement described in this document is a blanket easement.

SURVEYOR'S NOTES

- 1) Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260315, Panel Number 0169 E, Map Number 26077C0169E, with an Effective Date of July 31, 2024, shows this parcel to be located in Zone X (Areas of Minimal Flood Hazard) (subject to map scale uncertainty).
- 2) Source information from plans and markings has been combined with observed evidence of utilities to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
- 3) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
- 4) This survey was made from the legal description shown hereon. The description should be compared with the Abstract of Title or Title Policy for accuracy, easements and exceptions.

STRUCTURE INFORMATION

| #   | Structure Type        | DIA. | Rim Elevation | Generic Notes      | Size/Type/Direction | Invert Elevation |
|-----|-----------------------|------|---------------|--------------------|---------------------|------------------|
| 301 | Catch Basin           | 5    | 908.99        | CANNOT SEE S. SIDE | 24" CPP (SW)        | 903.83           |
| 333 | Miscellaneous Manhole | -    | 908.58        | -                  | 24" CPP (N)         | 903.69           |
|     |                       |      |               |                    | 12" CONC (NNE)      | 901.62           |
|     |                       |      |               |                    | 18" CONC (W)        | 899.52           |
| 344 | Catch Basin           | -    | 908.97        | -                  | 24" CPP (NW)        | 903.83           |
| 511 | Catch Basin           | -    | 908.96        | -                  | 24" CPP (E)         | 903.91           |
|     |                       |      |               |                    | 24" CPP (SE)        | 904.37           |
| 530 | Catch Basin           | 2    | 907.38        | -                  | 12" CONC (SE)       | 905.64           |
| 755 | Catch Basin           | 5    | 909.63        | CANNOT SEE N. SIDE | 24" CPP (S)         | 904.95           |



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800.222.1868

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**PREPARED FOR:**  
American Gas & Oil, Inc.  
Attention: Jason Berris

440 West Division  
PO Box 247  
Sparta, MI 49345  
Phone: 616.887.0956

REVISIONS:

|                                                    |           |             |                |
|----------------------------------------------------|-----------|-------------|----------------|
| Title: Preliminary Concept Plan                    | Drawn: SW | Checked: SW | Date: 02/13/26 |
| Title: Preliminary Concept Plan                    | Drawn: SW | Checked: SW | Date: 03/11/26 |
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**AGO - CITGO**

**4710 STADIUM DR.**

**Existing Site Conditions Plan**

4710 Stadium Drive

PART OF THE NORTHWEST 1/4 OF SECTION 30, T2S, R11W,  
CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

SEAL:



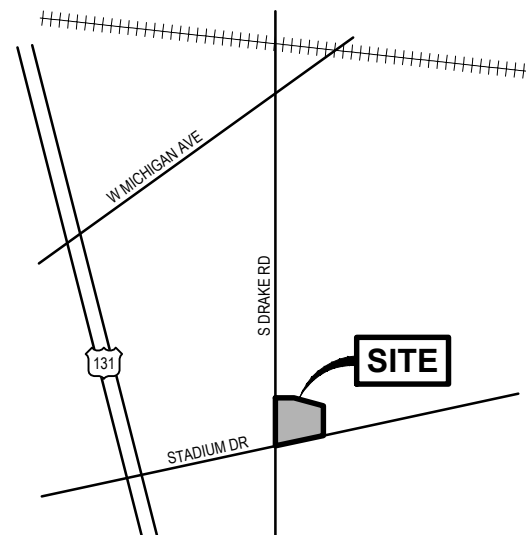
**PROJECT NO:**  
26200097

**SHEET NO:**  
**C-201**  
2 OF 8

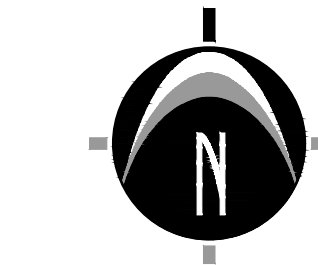
BENCHMARKS

**BENCHMARK #54** ELEV. = 909.93 (NAVD88)  
Set benchmark on SE bolt of sign post/light pole. Located 64'± North of the centerline of Stadium Drive & 70'± East of the centerline of Drake Road.

**BENCHMARK #500** ELEV. = 917.64 (NAVD88)  
Set benchmark on SE flange bolt to hydrant. Located 229'± North of the centerline of Stadium Drive & 43.5'± East of the centerline of Drake Road.



LOCATION MAP  
NOT TO SCALE



0' 10' 20' 40'  
SCALE: 1" = 20'

REMOVAL / DEMOLITION NOTES

- 1) THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED REPLACEMENT WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED, IT IS KNOWN THESE UTILITIES ARE LOCATED WHERE DIGGING IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- 2) ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM EXISTING RECORDS MAY NOT BE COMPLETE OR ACCURATE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- 3) BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY AND BY THE OWNER, REPRESENTATIVES OF THE CITY, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES. RECORDS OF THE INSPECTIONS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 5) ALL EXISTING UTILITIES, SEWERS AND WATER LINES ARE TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- 6) THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL ADJUSTMENT OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE CITY OR OWNER.
- 7) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.
- 8) ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- 9) THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE CITY OR OWNER.
- 10) ASPHALT AREAS SHOWN TO BE SAWCUT AND REMOVED FULL DEPTH ARE ACTUAL. FACE OF PROPOSED CURBS. IT WILL BE NECESSARY TO MAKE OFF-SET SAWCUTS TO PROVIDE CLEARANCE FOR PROPOSED CURBS. THE CONTRACTOR SHALL DETERMINE THE AMOUNT OF OFF-SET NECESSARY TO CONSTRUCT THE PROPOSED CURBS. ADDITIONAL CUTS MAY BE DESIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO EXTRA PAYMENT FOR ADDITIONAL CUTS. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE REMAINING PAVEMENT. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL FULL DEPTH SAWCUTS AND REMOVE THE DAMAGE AREAS AS NECESSARY.
- 11) ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS-SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- 12) ALL TREES AND VEGETATION WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.

REMOVAL / DEMOLITION NOTES

- 1. REMOVE EXISTING CONCRETE
- 2. REMOVE EXISTING BITUMINOUS PAVEMENT
- 3. REMOVE EXISTING BUILDING
- 4. REMOVE EXISTING GAS PUMPS, ISLANDS, AND FUEL CANOPY
- 5. REMOVE EXISTING BLOCK RETAINING WALL
- 6. REMOVE EXISTING CURB
- 7. REMOVE EXISTING UNDERGROUND FUEL TANKS PER ALL APPLICABLE REQUIREMENTS
- 8. REMOVE EXISTING PRIVATE UTILITY LINES, METERS, AND AIR CONDITIONING UNITS
- 9. REMOVE EXISTING STORM SEWER CATCH-BASIN, TRENCH DRAIN AND/OR STORM PIPE
- 10. REMOVE EXISTING LIGHT POLE
- 11. REMOVE EXISTING POST/BOLLARD
- 12. REMOVE EXISTING WALL/DUMPSTER ENCLOSURE
- 13. REMOVE EXISTING VACUUM
- 14. REMOVE EXISTING TREE
- 15. CONTRACTOR TO FIELD VERIFY SIZE, LOCATION, DEPTH AND CONDITION OF EX. WATER SERVICE AND SHALL REMOVE, REPLACE, AND EXTEND THE EXISTING WATER SERVICE AS NECESSARY TO THE NEW BUILDING
- 16. REMOVE AND REPLACE LIGHT POLE AS NECESSARY FOR CONSTRUCTION OF NEW UNDERGROUND FUEL TANK
- 17. CONTRACTOR TO FIELD VERIFY SIZE, LOCATION, DEPTH AND CONDITION OF EX. SANITARY SERVICE AND SHALL REMOVE, REPLACE, AND EXTEND THE EXISTING SANITARY SERVICE AS NECESSARY TO THE NEW BUILDING
- 18. SAWCUT, REMOVE AND REPLACE EX. CURB AS NECESSARY FOR NEW SIDEWALK CONSTRUCTION (TO PROVIDE FOR 1' CURB EXPOSURE/ADA COMPLIANCE)

STRUCTURE INFORMATION

| #   | Structure Type        | DIA. | Rim Elevation | Generic Notes      | Size/Type/Direction | Invert Elevation |
|-----|-----------------------|------|---------------|--------------------|---------------------|------------------|
| 301 | Catch Basin           | 5    | 908.99        | CANNOT SEE S. SIDE | 24" CPP (SW)        | 903.83           |
|     |                       |      |               |                    | 24" CPP (N)         | 903.69           |
| 333 | Miscellaneous Manhole | -    | 908.58        | -                  | 12" CONC (NNE)      | 901.62           |
|     |                       |      |               |                    | 18" CONC (W)        | 899.52           |
| 344 | Catch Basin           | -    | 908.97        | -                  | 24" CPP (NW)        | 903.83           |
|     |                       |      |               |                    | 24" CPP (E)         | 903.91           |
| 511 | Catch Basin           | -    | 909.96        | -                  | 24" CPP (SE)        | 904.37           |
| 530 | Catch Basin           | 2    | 907.38        | -                  | 12" CONC (SE)       | 905.64           |
| 755 | Catch Basin           | 5    | 909.63        | CANNOT SEE N. SIDE | 24" CPP (S)         | 904.95           |



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

**NEDERVELD**  
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Attention: Jason Berris

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| Drawn: SW                                          | Checked: SW | Date: 08/18/26 |

**AGO - CITGO**  
**4710 STADIUM DR.**

**Demolition Plan**

4710 Stadium Drive  
PART OF THE NORTHWEST 1/4 OF SECTION 30, T2S, R11W,  
CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

**SEAL:**

STATE OF MICHIGAN  
STEVEN L. WITTE  
ENGINEER  
No. 46769  
LICENSED PROFESSIONAL ENGINEER

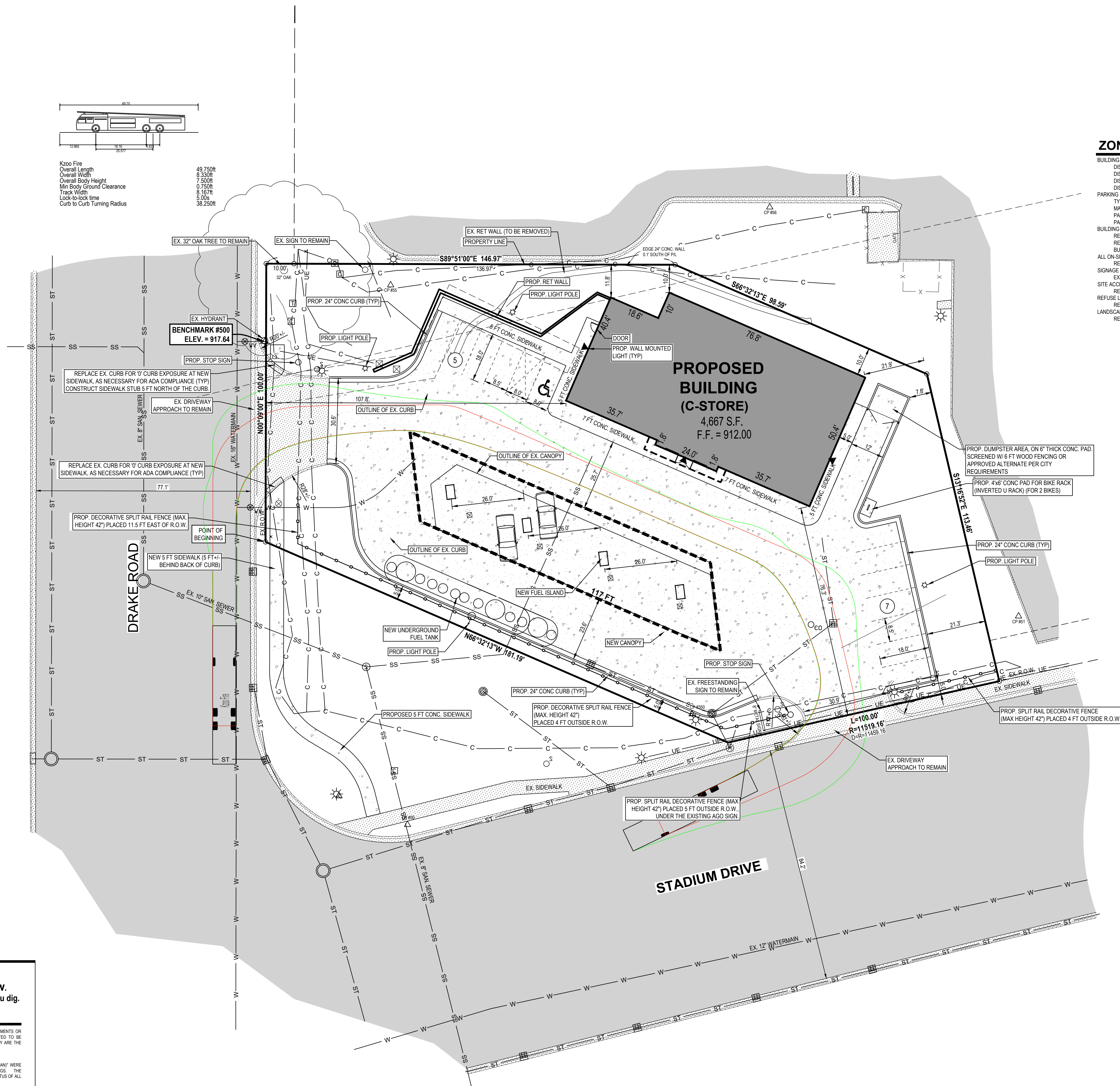
**PROJECT NO:**  
26200097

**SHEET NO:**  
**C-203**  
3 OF 8

**BENCHMARK #500 ELEV. = 917.64 (NAVD88)**  
Set benchmark on SE flange bolt to hydrant. Located 229'± North of the centerline of Stadium Drive & 43.5'± East of the centerline of Drake Road.

Kzoo Fire  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Curb to Curb Turning Radius

49.750ft  
8.330ft  
7.500ft  
0.750ft  
8.167ft  
5.00s  
38.250ft



**BUILDING LOCATION:**  
DISTANCE FROM NORTH PROPERTY LINE = 10.0 FT  
DISTANCE FROM WEST PROPERTY LINE = 107.8 FT  
DISTANCE FROM EAST PROPERTY LINE = 22.4 FT  
DISTANCE FROM SOUTH PROPERTY LINE = 77.0 FT

**PARKING INFORMATION:**  
TYPICAL STRIPED PARKING SPACE = 6.5 FT WIDE x 18 FT LONG  
TYPE DRIVE WHEEL = 2+2 FT (SEE PLAN VIEW FOR VARIOUS WIDTHS AT VARIOUS LOCATIONS)  
PARKING SPACES REQUIRED = 14 (SEE 100% ON 10% PER HOUR RETAIL)  
PARKING SPACES PROVIDED = 20 (INCLUDES 8 PERM SPACE SPACES AND ONE BARRIER FREE SPACE WITH SIGN)

**BUILDING ELEVATION:**  
REFERS TO ARCHITECTURAL PLANS  
REFERS TO THIS PLAN FOR LOCATION OF DOORS AND WALL LIGHTING.  
BUILDING HEIGHT - ONE STORY: 27' 1/4 INCHES TO PEAK +/-, 13' 7 1/8 INCHES TO TRUSS +/-  
ALL ON-ROOF LIGHTING  
REFERS TO THIS PLAN SHEET AND THE PHOTOGRAPHIC PLAN.

**SIGNAGE DETAIL:**  
EXISTING FREE-STANDING SIGN. SEE THIS PAGE FOR LOCATION.  
SEE ACCESS FOR ALL ROADS.

**REFUSE LOCATION AND SCREENING:**  
REFERS TO THIS PLAN SHEET/PLAN VIEW FOR LOCATION, DIMENSION, RADII, MATERIALS, SIGNAGE, ETC.  
REFUSE LOCATION AND SCREENING  
REFERS TO THIS PLAN FOR LOCATION AND GENERAL SCREENING NOTE.

**LANDSCAPE PLAN:**  
REFERS TO THE 100% LANDSCAPE PLAN FOR ALL DETAILS RELATED TO LANDSCAPING

|                                                                                     |                                        |
|-------------------------------------------------------------------------------------|----------------------------------------|
|  | EXISTING BITUMINOUS                    |
|  | EXISTING CONCRETE                      |
|  | PROPOSED BITUMINOUS<br>(STANDARD DUTY) |
|  | PROPOSED BITUMINOUS<br>(HEAVY DUTY)    |
|  | PROPOSED CONCRETE<br>(STANDARD DUTY)   |
|  | PROPOSED CONCRETE<br>(HEAVY DUTY)      |

1) ZONING OR SUBJECT PARCEL: C-0 = COMMUNITY COMMERCIAL

C-0 ZONING REQUIREMENTS:

- MINIMUM LOT AREA = 1 ACRE (43,560 SF)
- MINIMUM LOT WIDTH = 60 FEET
- MAXIMUM BUILDING HEIGHT = 4 STORIES
- MAXIMUM LOT COVERAGE (BUILDING + 8% POROS)
- MINIMUM ALLOWED BUILDING SETBACKS:
  - FRONT YARD = NOT APPLICABLE
  - SIDE YARD = 0 FT
  - REAR YARD = 0 FT

2) SUMMARY OF LAND USE:

- A) AREA OF SITE = 33,997 SF +/- (0.78 AC +/-) (EXCLUDING R.O.W.)
- B) EXISTING HARD SURFACE AREA ON SITE = 23,917 SF +/- INCLUDING:
  - 2,357 SF +/- BUILDINGS
  - 21,560 SF +/- PAVEMENT/CANOPY
- C) AREA OF PROPOSED BUILDING = 4,867 SF +/-
- D) PROPOSED ON SITE PAVEMENT AREA = 19,050 SF +/-
- E) PROPOSED HARD SURFACE AREA = 24,937 SF +/-
- F) NET INCREASE IN HARD SURFACE AREA = 655 SF +/-
- G) GREEN AREA PROVIDED ON SITE = 8,425 SF +/- (27.7%)
- H) HEIGHT OF PROPOSED BUILDING = 25 FT
- I) ZONING OF SURROUNDING PARCELS: C-0 TO NORTH AND EAST
  - RAIMS TO SOUTH
  - Q8187EM TO WEST (C = LOCAL BUSINESS DISTRICT) TO WEST

3) PARKING REQUIREMENTS:

- A) TYPICAL STRIPPED PARKING SPACE = 8.5 x 18' (20 FT TWO-WAY SPACE)
- B) TYPICAL HANDICAPPED SPACE = 6 x 18' (WITH 8 FT WIDE VAN-ACCESSIBLE AISLES)
- C) PARKING SPACES REQUIRED = 14 (BASED ON 1 PER 330 SF RETAIL)
- D) PARKING SPACES PROVIDED = 20 (INCLUDES 8 PUMP SPACES)
- E) NORMAL PARKING SETBACK = 5 FT IN FRONT YARD
  - NO SETBACK REQUIRED IN SIDE/REAR YARDS
  - BASED ON 1 PER 7 EMP. OVERTS (SH- EMPLOYEES AT THE SITE AT ONE TIME)
- F) BICYCLE PARKING REQUIRED = 1 (BASED ON 1 PER 7 EMP. OVERTS)
- G) BICYCLE SPACES PROVIDED = 2 (ONE INVERTED RACK)

4) THE SITE CURRENTLY HAS MULTIPLE BUILDINGS AND PAVEMENT ON IT.

THE OVERALL SITE IS CURRENTLY BEING USED AS A GAS STATION AND A CAR WASH.

ALL OF THE EXISTING BUILDINGS AND THE CANOPY WILL BE REMOVED AS PART OF THE PROJECT.

THE CAR WASH USE WILL BE ELIMINATED FROM THE PROPERTY.

THIS PROJECT IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS.

BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT.

MEASURES WILL INCLUDE THE USE OF SILT FENCING, SEEDING AND MULCHING AND COMPACTION.

THE EXISTING SIGNAGE SIGN IS PROPOSED TO REMAIN.

ALL NEW FREESTANDING SIGN WILL COMPLY WITH THE STANDARDS OF THE CITY OF KALAMAZOO ZONING CODE.

6) UTILITIES SHOWN APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS.

THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

9) ALL PROPOSED LIGHTING SHALL COMPLY WITH SECTION 50-10.1C OF THE CITY'S ORDINANCE.

ALL PROPOSED LIGHTING SHALL BE SHIELDED FROM ADJACENT PROPERTIES.

THE PROPOSED LIGHT POLES ARE TO BE MAXIMUM 35 FT HIGH AND SHALL HAVE SHOEBOX TYPE FIXTURES.

10) CONTRACTOR TO FIELD VERIFY ALL EXISTING INVERTS.

11) STORM WATER RUNOFF FROM THE SITE WILL BE MANAGED AS REQUIRED BY THE CITY OF WYOMING.

12) THE PROPOSED BUILDING WILL BE SERVICED BY PUBLIC UTILITIES - SANITARY SEWER, WATER, STORM SEWER, ELECTRICAL, TELEPHONE, AND GAS.

13) THE PARCEL NUMBER AND ADDRESS OF THE PROJECT ARE AS FOLLOWS:

4710 STADIUM DRIVE, PARCEL NUMBER 06-30-150-01.

14) THE PROPOSED PROJECT WILL COMMENCE CONSTRUCTION IN THE SUMMER/FALL OF 2026, PENDING APPROVALS AND PERMITS.

IT IS ANTICIPATED THAT CONSTRUCTION WILL BE COMPLETED IN 2027.

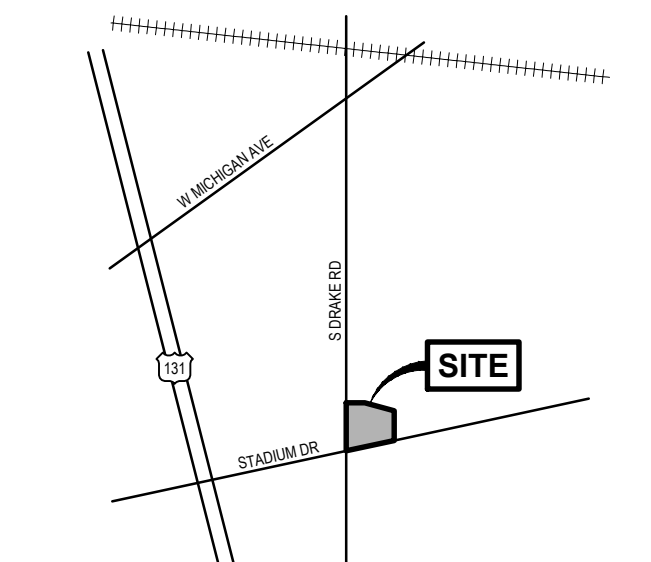
THE PROJECT WILL BE CONSTRUCTED IN ONE PHASE.

15) A KNOX BOX (2000 SERIES OR LARGER) MUST BE PROVIDED ON THE BUILDING FOR FIRE DEPARTMENT ACCESS.

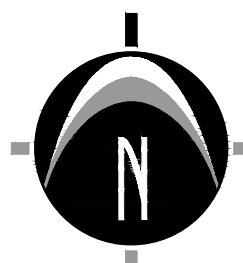
16) EMERGENCY EGRESS CANNOT CROSS THE ROOF AND NEEDS TO BE PROTECTED AND ILLUMINATED.

17) 12" ADDRESS NUMBERS ARE REQUIRED ON THE FRONT OF THE BUILDING.

FOR CORNER LOTS, THE ADDRESS SHALL BE PROVIDED ON EACH ROAD FRONTAGE.



NOT TO SCALE



0' 10' 20' 40'

**SCALE: 1" = 20'**

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:  
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE  
OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE  
CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL  
UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

American Gas & Oil, Inc.  
Attention: Jason Berris

440 West Division  
PO Box 247  
Sparta, MI 49345  
Phone: 616.887.095

|                                                    |           |             |                |
|----------------------------------------------------|-----------|-------------|----------------|
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| Title: Site Plan Submittal                         | Drawn: SW | Checked: SW | Date: 05/19/26 |
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| Title: Site Plan ZBA and Final Site Plan Submittal | Drawn: SW | Checked: SW | Date: 08/18/26 |

**AGO - CITGO**  
**4710 STADIUM DR.**

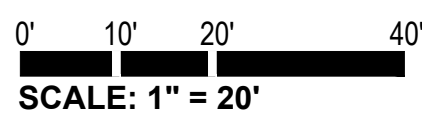
# Site Layout Plan

4710 Stadium Drive  
PART OF THE NORTHWEST 1/4 OF SECTION 30, T2S, R11W,  
CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

**PROJECT NO:**  
26200097

# C-205

**BENCHMARK #500 ELEV. = 917.64 (NAVD88)**  
Set benchmark on SE flange bolt to hydrant. Located 229'± North of the centerline of Stadium Drive & 43.5'± East of the centerline of Drake Road.



American Gas & Oil, Inc.  
Attention: Jason Berris

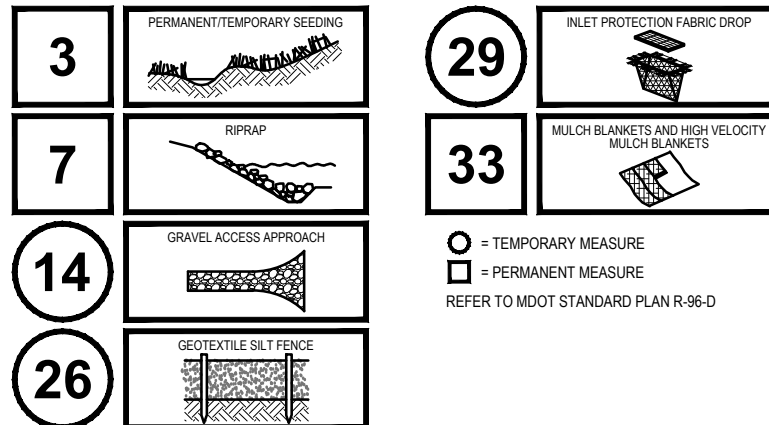
440 West Division  
PO Box 247  
Sparta, MI 49345  
Phone: 616.887.0956

|                                                    |             |                |
|----------------------------------------------------|-------------|----------------|
| Title: Preliminary Concept Plan                    |             |                |
| Drawn: SW                                          | Checked: SW | Date: 02/13/26 |
| Title: Preliminary Concept Plan                    |             |                |
| Drawn: SW                                          | Checked: SW | Date: 03/11/26 |
| Title: Site Plan                                   |             |                |
| Drawn: SW                                          | Checked: SW | Date: 03/23/26 |
| Title: Site Plan - Special Use Submittal           |             |                |
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| Title: Site Plan ZBA and Final Site Plan Submittal |             |                |
| Drawn: SW                                          | Checked: SW | Date: 08/18/26 |

|  |                                                 |
|--|-------------------------------------------------|
|  | EX. GRADE CONTOUR                               |
|  | PROP. GRADE CONTOUR                             |
|  | PROP. GRADE ELEV.<br>(BLACKTOP)                 |
|  | PROP. SIDE ELEV.<br>(CONCRETE)                  |
|  | PROP. GRADE ELEV.<br>(GUTTER)                   |
|  | PROP. GRADE ELEV.<br>(EDGE OF METAL)            |
|  | PROP. GRADE ELEV.<br>(HIGH POINT)               |
|  | EX. BITUMINOUS                                  |
|  | EX. CONCRETE                                    |
|  | PROPOSED BITUMINOUS<br>(STANDARD DUTY)          |
|  | PROPOSED BITUMINOUS<br>(HEAVY DUTY)             |
|  | PROPOSED CONCRETE<br>(STANDARD DUTY)            |
|  | PROPOSED CONCRETE<br>(HEAVY DUTY)               |
|  | PROP. STORM SEWER                               |
|  | PROP. SANITARY SEWER                            |
|  | PROP. WATERMAIN                                 |
|  | SPILL CURB                                      |
|  | FLOW DIRECTION                                  |
|  | EMERGENCY OVERTFLOW<br>STORM-TO-WATERFLOW ROUTE |
|  | PROP. LIMITS OF GRADING                         |
|  | SILT FENCE                                      |

[illegible]

- 1) CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- 2) CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.



STEVEN L.  
WITTE  
ENGINEER  
No.  
46769  
PROFESSIONAL ENGINEER

**26200097**

# C-300

5 OF 8



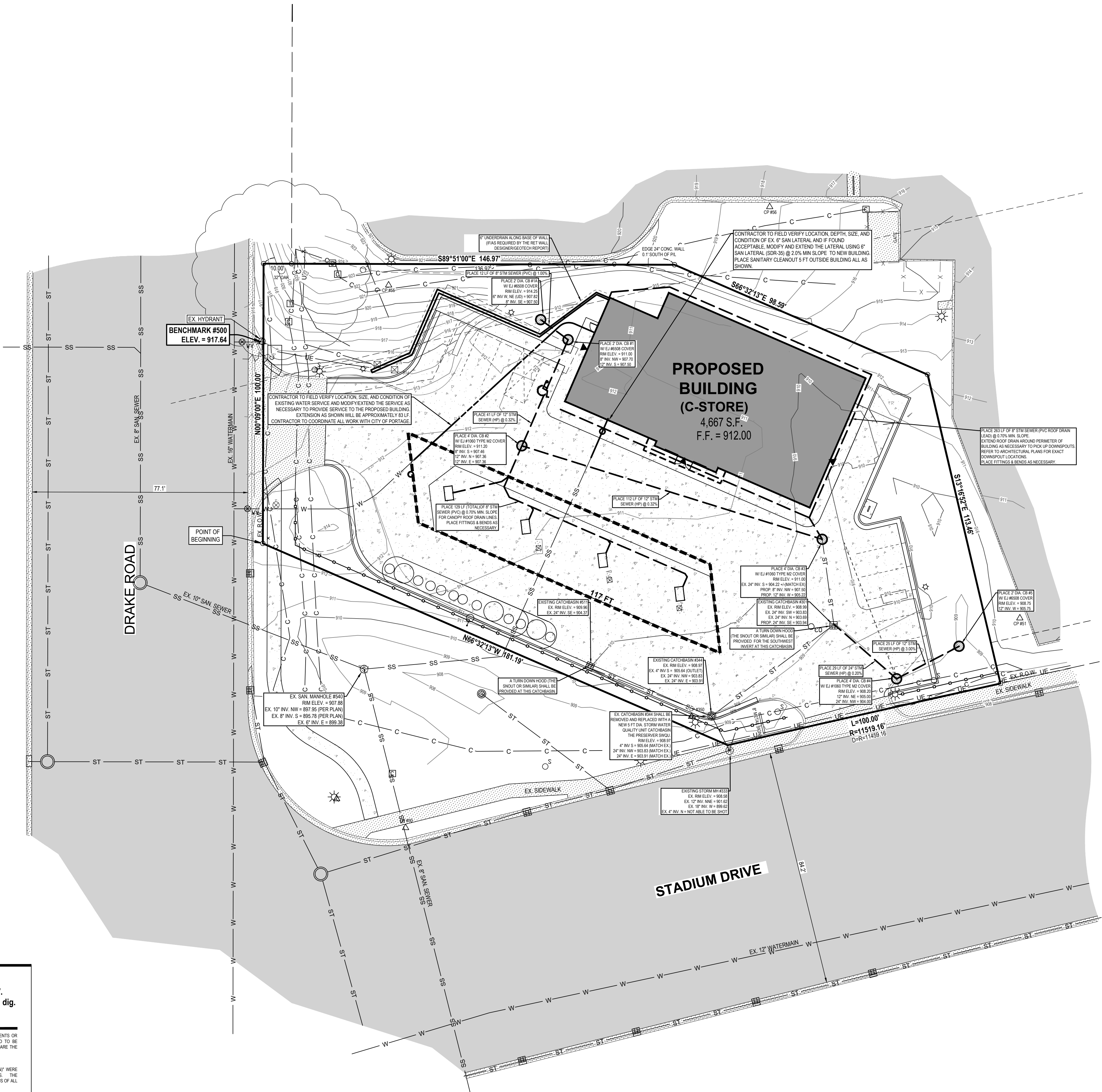
UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:  
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE  
OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE  
CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL  
UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

BENCHMARKS

**BENCHMARK #54** ELEV. = 909.93 (NAVD88)  
Set benchmark on SE bolt of sign post/light pole. Located 64± North of the centerline of Stadium Drive & 70± East of the centerline of Drake Road.

**BENCHMARK #500** ELEV. = 917.64 (NAVD88)  
Set benchmark on SE flange bolt to hydrant. Located 229± North of the centerline of Stadium Drive & 43.5± East of the centerline of Drake Road.



CONSTRUCTION NOTES

STORM SEWER

1. ALL CATCH BASINS SHOULD BE PROVIDED WITH A MINIMUM 2' SUMP.
2. ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED POLYETHYLENE PIPE (SLPP), WITH WATERTIGHT JOINTS MEETING THE REQUIREMENTS OF THE MICHIGAN PLUMBING CODE, AASHTO M-252 AND M-294, ASTM F-2306, F-2648, D-3212, F-477, F-2487, D-3350 AND F-1417. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND ASTM D-2321 OR CONCRETE PIPE MEETING THE REQUIREMENTS OF ASTM C-76-III UNLESS OTHERWISE NOTED.
3. 6" UNDERDRAIN SHALL BE PERFORATED PIPE WITH SDOCK, MEETING THE REQUIREMENTS OF AASHTO M-252 AND THE GEOTEXTILE SHALL MEET AASHTO M-288 REQUIREMENTS.
4. ALL FLARED END SECTIONS SHALL BE CONCRETE.
5. ALL CATCH BASINS AND MANHOLES SHALL BE CONCRETE, CONFORMING TO ASTM C-478 WITH BUTYL RUBBER GASKETED JOINTS WITH ROOT TYPE PIPE CONNECTIONS CONFORMING TO ASTM C-923 FOR ALL PIPE CONNECTIONS 24" DIAMETER AND SMALLER.
6. ALL CATCH BASINS ARE DRAWN AND WILL BE STAKED AT CENTER OF CASTING.

WATERMAIN AND SANITARY SEWER

1. ALL WATERMAIN AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE CITY STANDARD CONSTRUCTION SPECIFICATIONS, INCLUDING POST CONSTRUCTION VIDEO INSPECTION OF THE SANITARY SEWER SYSTEM.

GENERAL

1. ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS INCLUDED FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MDOOT CONSTRUCTION AND MATERIALS SPECIFICATIONS (LATEST EDITION) AND THE ORDINANCES OF THE CITY, WHERE CONFLICTS OCCUR IN THE ABOVE, THE CITY SHALL BE THE GOVERNING AUTHORITY.
2. SOIL BORINGS HAVE BEEN PERFORMED BY THE OWNER AND SHALL BE PROVIDED TO THE CONTRACTOR. VARIATION IN EXISTING SOIL CONDITIONS MAY IMPACT THE EARTHWORK QUANTITIES IF UNDESIRABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING WATER AND SEWAGE SYSTEM RESULTING FROM NON-COMFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE.
4. ALL WORK, INCLUDING INSPECTIONS AND TESTING COST REQUIRED FOR REMOVAL, RELOCATION OR NEW CONSTRUCTION FOR PRIVATE OR PUBLIC UTILITIES, WILL BE DONE BY AND AT THE EXPENSE OF THE CONTRACTOR AND INCLUDED IN THE BID PRICE FOR THE VARIOUS WORK ITEMS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL NECESSARY PERMITS FROM THE CITY AND COUNTY AND ANY OTHER AGENCY FOR ALL WORK DONE BY THE CONTRACTOR.
5. ANY DEFECTS IN THE CONSTRUCTION, INCLUDING MATERIALS OR WORKMANSHIP, SHALL BE REPLACED OR CORRECTED BY REMOVAL AND REPLACEMENT OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE BY THE CITY OR OWNER WITHOUT ANY ADDITIONAL COST TO THE CITY OR OWNER.
6. ALL LAWN AREAS REMOVED OR DISTURBED SHALL BE REPLACED WITH TOPSOIL AND SOO WHERE NEEDED AND SHALL BE RESEED AND MULCHED IF SATISFACTORY RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.
7. ALL PUNCH LIST AND DEFICIENCY WORK SHALL BE COMPLETED WITHIN 1 MONTH OF THE END OF CONSTRUCTION.
8. THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FROM THE CITY BEFORE BEGINNING WORK WITHIN ANY PUBLIC STREET RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES.
10. THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. CONTACT THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
11. THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE REQUIRED WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES AS REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS. THE CONTRACTOR SHALL FURNISH, ERECT, MAINTAIN AND SUBSEQUENTLY REMOVE SUCH ADDITIONAL TRAFFIC CONTROL DEVICES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION AS ARE REQUIRED ON THOSE STREETS WHICH ARE USED AS DETOURS, INCLUDING "ROAD CLOSED" SIGNS AND BARRICADES AT THE POINT WHERE THE ROAD IS CLOSED TO THROUGH TRAFFIC.
12. THE CONTRACTOR SHALL PROTECT LOCATION OF ALL PROPERTY PINS AND BENCHMARKS.
13. ALL WORK CONTEMPLATED SHALL AT ALL TIMES BE SUBJECT TO THE DIRECT INSPECTION OF THE CITY, OWNER AND THEIR REPRESENTATIVES. THE CITY AND OWNER RESERVES THE RIGHT TO HALT ALL CONSTRUCTION ACTIVITY FOR NON-COMFORMANCE OF PLANS, SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS.
14. PRICES BID PER FOOT FOR ALL PIPES IS COMPACTED IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS.
15. CONTRACTOR IS RESPONSIBLE FOR ALL SIGNS, BARRICADES AND SAFETY FENCES TO DETER PEOPLE FROM ENTERING THE WORK AREA AND FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROLS SHALL BE COORDINATED WITH THE POLICE DEPARTMENT AND THE CITY.
16. PRIOR TO ANY CONSTRUCTION OR GRADING, A PROTECTIVE BARRIER, FENCE, POST AND/OR SIGNS CLEARLY INDICATING LIMITS OF WORK/DISTURBANCE SHALL BE INSTALLED INDICATING NO TREE REMOVAL OR SHALL BE CONTACTED UPON DETERMINATION OF LIMITS IN THE FIELD.
17. ALL ROAD SURFACES, EASEMENTS OR RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENT ARE TO BE RESTORED COMPLETELY TO THE SATISFACTION OF THE CITY AND THE OWNER.
18. NO PARKING OF CONTRACTOR OR CONTRACTOR EMPLOYEE'S VEHICLES ON ANY PUBLIC STREETS SHALL BE PERMITTED.
19. ALL DISTURBED SIGNS, GUARDRAILS, MAIL BOXES, AND DRIVEWAYS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY AND THE OWNER.
20. DUST CONTROL: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY SUCH AS CALCIUM CHLORIDE, WATER OR A MOTORIZED DUST FREE STREET SWEEPING DEVICE TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL ORDINANCES OF THE CITY, COUNTY, MDOE OR ANY OTHER GOVERNING AUTHORITY.
21. ALL SEWERS, MANHOLES, JUNCTION CHAMBERS AND INLET BASINS MUST BE CLEANED BEFORE ACCEPTANCE BY THE CITY AND OWNER.
22. IF MUD, SOIL OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY OR AS REQUIRED DURING THE WORK DAY.
23. ADJUST TO GRADE OR RECONSTRUCT TO GRADE WORK SHALL INCLUDE THE REMOVAL AND REPLACEMENT OF ANY EXISTING CONCRETE BLOCCOUT PAVEMENT. DAMAGED PAVEMENT DOWELS OR OTHER SUCH LOAD TRANSFER DEVICES SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND THE ENGINEER.
24. ALL EXISTING CASTINGS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD CHECKED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPLACED.
25. COMPACTED PREMIUM BACKFILL (MDOOT CLASS II SAND) WILL BE REQUIRED AT ALL FILL AREAS OR ANY STREETS WHERE REMOVAL AND REPLACEMENT OF PAVEMENT IS REQUIRED AND FOR ALL UNDERGROUND CONSTRUCTION UNDER ANY DRIVEWAY OR PAVEMENT INCLUDING THE 45 DEGREE ANGLE OF INFLUENCE FROM THE OUTSIDE EDGE OF PAVEMENT OR TOP OF CURB. COMPACTION TESTS SHALL BE REQUIRED EVERY 50 FEET UNDER PAVEMENT. PAVEMENT INCLUDES, BUT NOT LIMITED TO, ROADWAY SURFACES, SIDEWALKS, BIKE WAYS, DRIVEWAYS, SHOULDERS, BUILDINGS, ETC.
26. NO BUILDING MATERIAL, EQUIPMENT, VEHICLES OR DEBRIS SHALL BE STORED OR PLACED OUTSIDE LIMITS OF WORK/DISTURBANCE.
27. STORMWATER POLLUTION PREVENTION ITEMS SHALL BE IN PLACE PRIOR TO COMMENCING CLEARING OPERATIONS, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.
28. ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
29. CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM DURING NIGHTTIME HOURS AND MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS.
30. ALL TREES AND VEGETATION WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
31. CONTRACTOR TO FIELD VERIFY AND SLOPE EXISTING SANITARY SEWER LATERAL TO CONFORM ELEVATION, SLOPE, CONDITION AND PHYSICAL CONNECTION TO PUBLIC SANITARY SEWER MAIN PRIOR TO CONNECTION OF NEW LATERAL SERVICE.
32. THE PROJECT SHALL BE IN COMPLIANCE WITH CHAPTER 28 OF THE CITY OF KALAMAZOO ORDINANCES AND ENGINEERING BEST PRACTICES, AS NOTED ON THIS PLAN SET.

STRUCTURE INFORMATION

| #   | Structure Type        | DIA. | Rim Elevation | Generic Notes      | Size/Type/Direction | Invert Elevation |
|-----|-----------------------|------|---------------|--------------------|---------------------|------------------|
| 301 | Catch Basin           | 5    | 908.99        | CANNOT SEE S. SIDE | 24" CPP (SW)        | 903.83           |
|     |                       |      |               |                    | 24" CPP (N)         | 903.69           |
| 333 | Miscellaneous Manhole | -    | 908.58        | -                  | 12" CONC (NNE)      | 901.62           |
|     |                       |      |               |                    | 18" CONC (W)        | 899.52           |
| 344 | Catch Basin           | -    | 908.97        | -                  | 24" CPP (NW)        | 903.83           |
|     |                       |      |               |                    | 24" CPP (E)         | 903.91           |
| 511 | Catch Basin           | -    | 909.96        | -                  | 24" CPP (SE)        | 904.37           |
| 530 | Catch Basin           | 2    | 907.38        | -                  | 12" CONC (SE)       | 905.64           |
| 755 | Catch Basin           | 5    | 909.63        | CANNOT SEE N. SIDE | 24" CPP (S)         | 904.95           |

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PREPARED FOR:

American Gas & Oil, Inc.

Attention: Jason Berris

440 West Division

PO Box 247

Sparta, MI 49345

Phone: 616.887.0956

REVISIONS:

|                                                    |             |                |
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| Drawn: SW                                          | Checked: SW | Date: 03/11/26 |
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| Drawn: SW                                          | Checked: SW | Date: 08/18/26 |

AGO - CITGO

4710 STADIUM DR.

Utility Plan

4710 Stadium Drive

PART OF THE NORTHWEST 1/4 OF SECTION 30, T2S, R11W,

CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

SEAL:

PROJECT NO:  
26200097

SHEET NO:  
**C-400**  
6 OF 8

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

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Land Planning — Landscape Architecture — Civil Engineering — Land Surveying — Reality Capture — Forensic Services

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|                                                    |           |             |                  |
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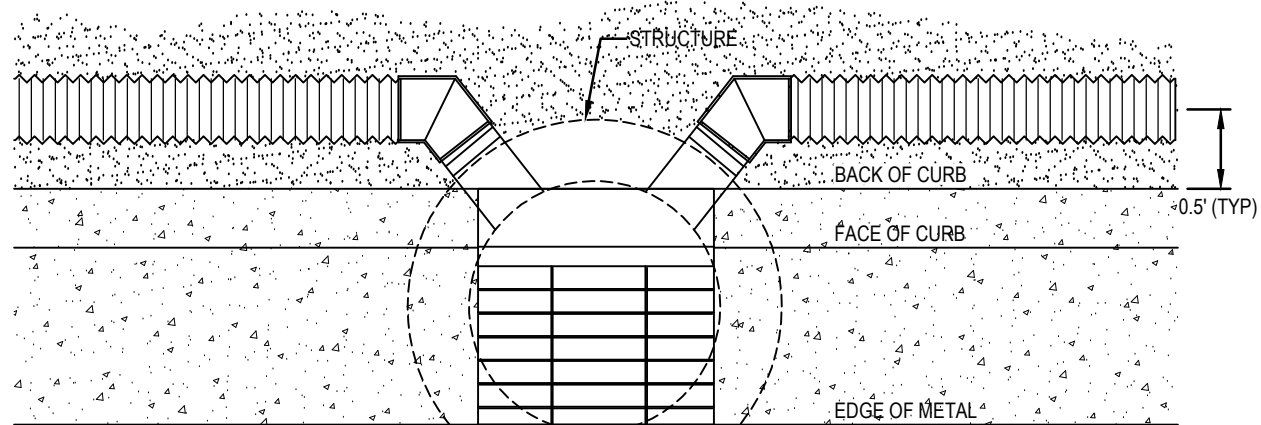
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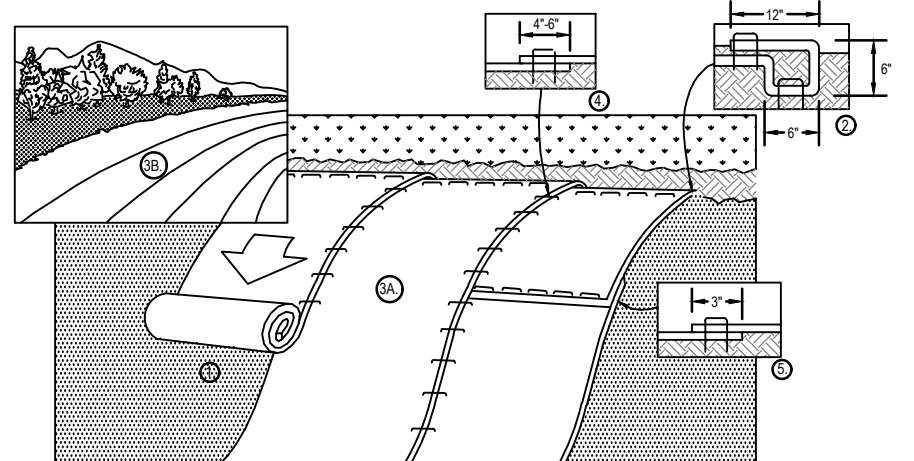
## Details & Specifics

## C-500

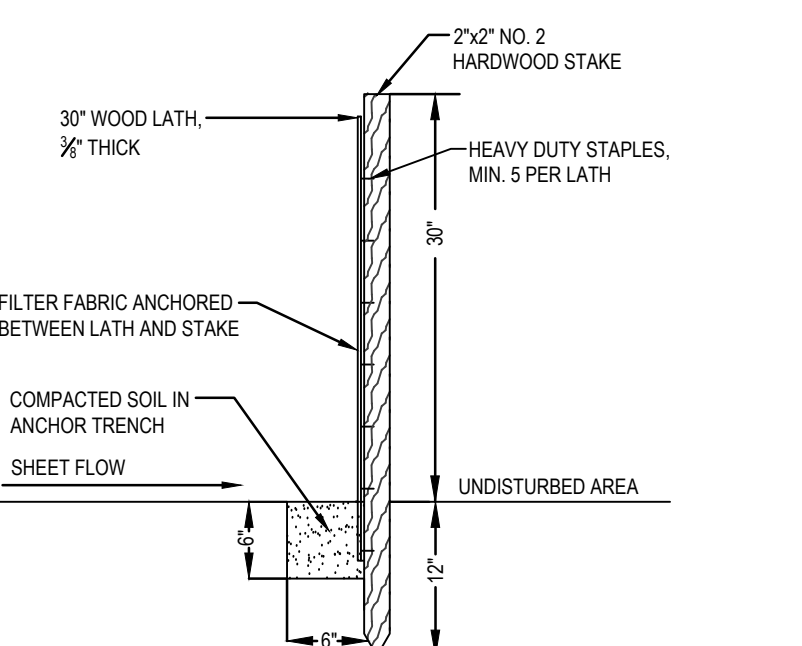


A cross-sectional diagram of a storm drain structure. At the top, a horizontal line represents the ground surface. Below it, a hatched rectangular area is labeled "CASTING AS SPECIFIED BACK OF CURB". This is followed by a layer of "MDOT CLASS II SAND". A horizontal dimension line across the width of the structure is labeled "PER PLAN". The structure itself is a vertical pipe labeled "STORM PIPE" at its base, which is connected to a "SUMP" and then to a "STRUCTURE" below. The pipe is surrounded by a layer of "UNDERDRAIN" material, which is shown as a series of vertical, wavy lines. The entire assembly is supported by a base layer of "MDOT CLASS II SAND".

N.T.S.

[illegible]

N.T.S.

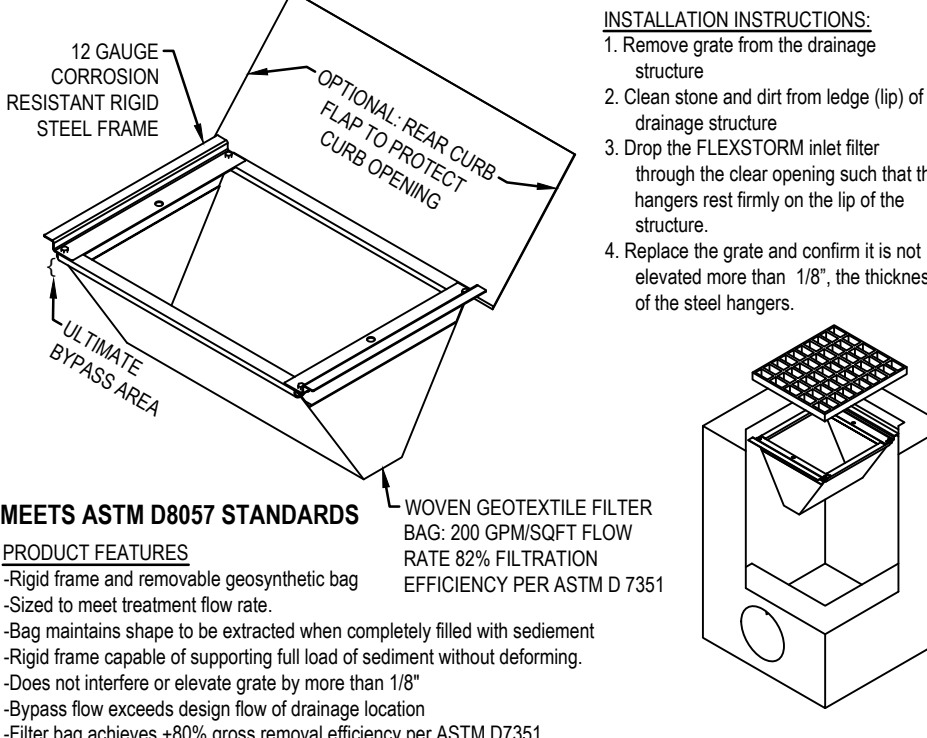


**PLAN VIEW**

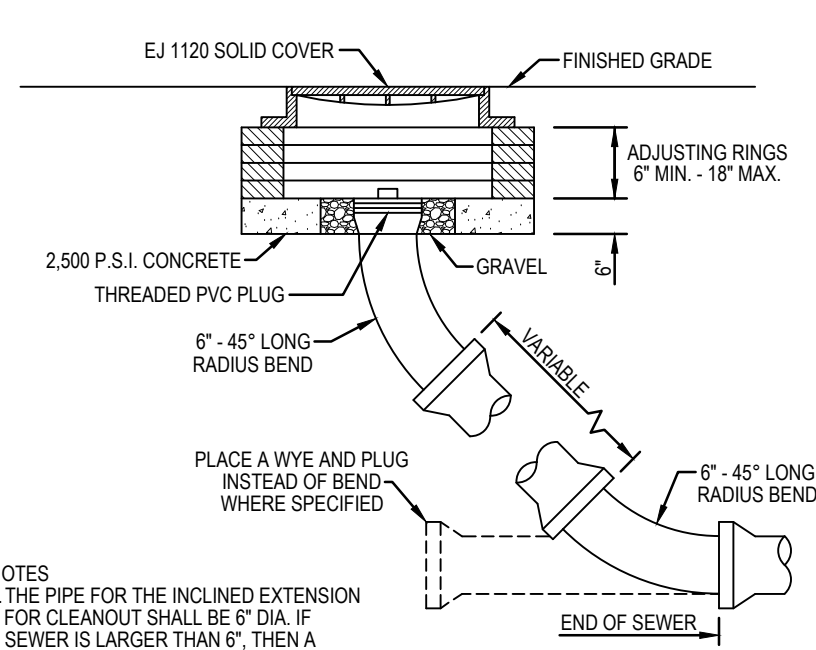
The plan view diagram illustrates the layout of the erosion control system. It shows a series of vertical stakes driven into the ground, with a synthetic filter fabric stapled to them. The fabric is anchored into a 6"x6" anchor trench. The diagram indicates a "DIRECTION OF FLOW" with an arrow pointing towards the right. Key dimensions and components labeled include:

- 6.5" MAX SPACING (between stakes)
- UNDISTURBED AREA (the area between the stakes)
- 2"x2" HARDWOOD STAKES DRIVEN 12" INTO GROUND
- FABRIC ANCHORED BY WOOD LATH STAPLED TO STAKES
- EXTRA STRENGTH SYNTHETIC FILTER FABRIC
- 6"x6" ANCHOR TRENCH

N.T.S.



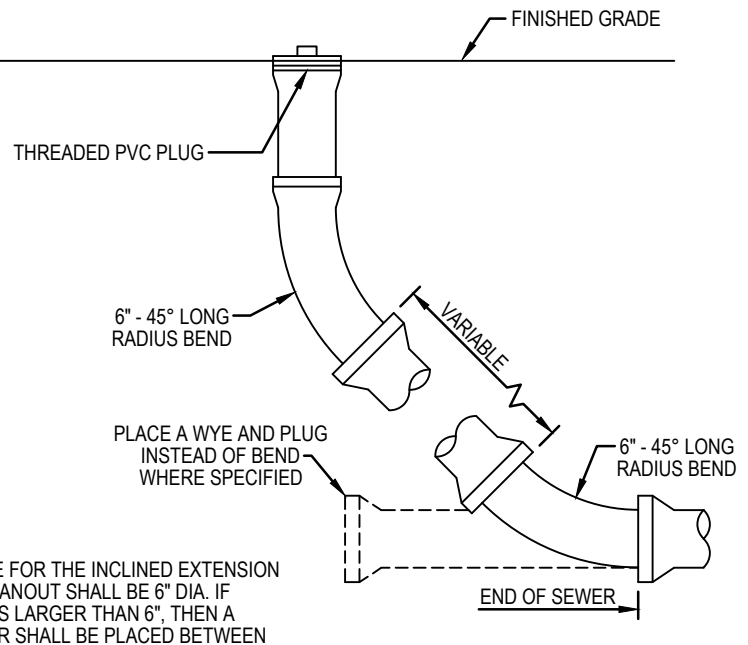
## EL EYSTORM INI



NOTES

1. THE PIPE FOR THE INCLINED EXTENSION FOR CLEANOUT SHALL BE 6" DIA. IF SEWER IS LARGER THAN 6", THEN A REDUCER SHALL BE PLACED BETWEEN END OF SEWER AND LONG RADIUS BEND.
2. JOINTS SHALL BE SAME AS SPECIFIED FOR SEWER CONSTRUCTION

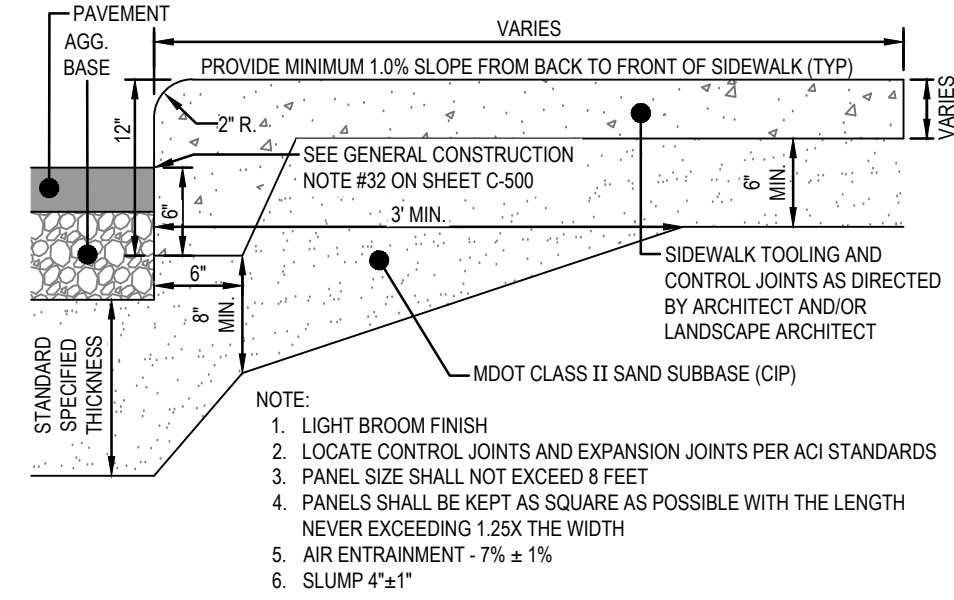
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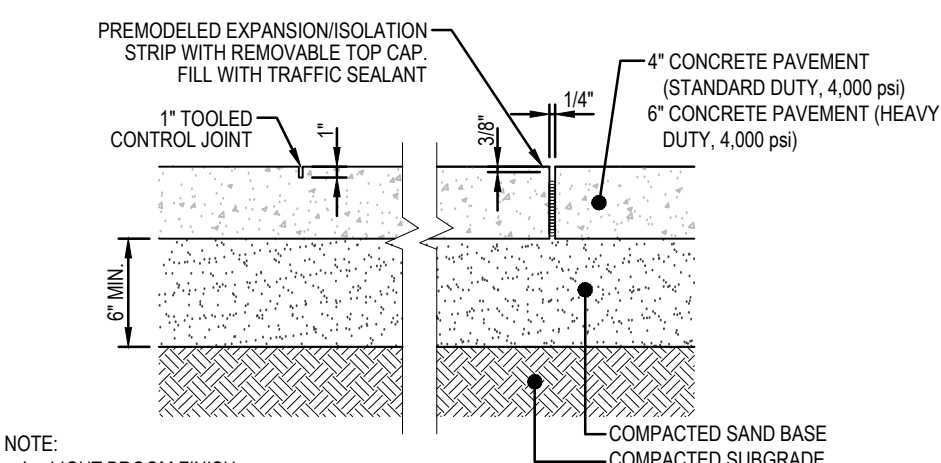
**NOTES**

1. THE PIPE FOR THE INCLINED EXTENSION FOR CLEANOUT SHALL BE 6" DIA. IF SEWER IS LARGER THAN 6", THEN A REDUCER SHALL BE PLACED BETWEEN END OF SEWER AND LONG RADIUS BEND.
2. JOINTS SHALL BE SAME AS SPECIFIED

N.T.S.



N.T.S.

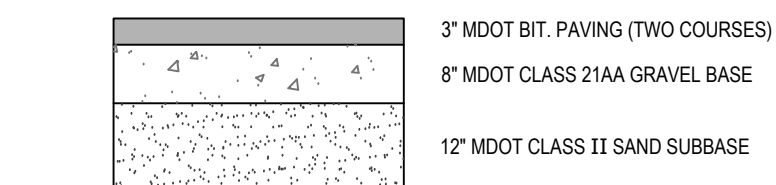


NOTE:

1. LIGHT BROOM FINISH
2. LOCATE CONTROL JOINTS AND EXPANSION JOINTS PER ACI STANDARDS
3. PANEL SIZE SHALL NOT EXCEED 8 FEET
4. PANELS SHALL BE KEPT AS SQUARE AS POSSIBLE WITH THE LENGTH NEVER EXCEEDING 1.25X THE WIDTH
5. AIR ENTRAINMENT - 7%  $\pm$  1%
6. SLUMP 4"  $\pm$  1"
7. REFER TO GEOTECHNICAL REPORT AND RECOMMENDATIONS FOR FINAL CONCRETE PAVING DETAIL

COMPACTED SAND BASE  
COMPACTED SUBGRADE

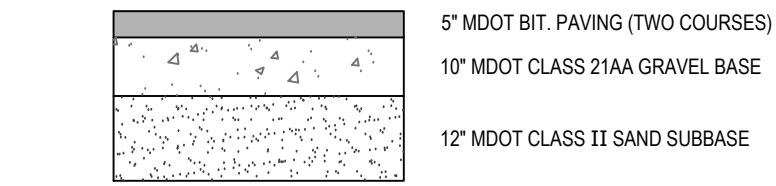
**N.T.S**



NOTE:

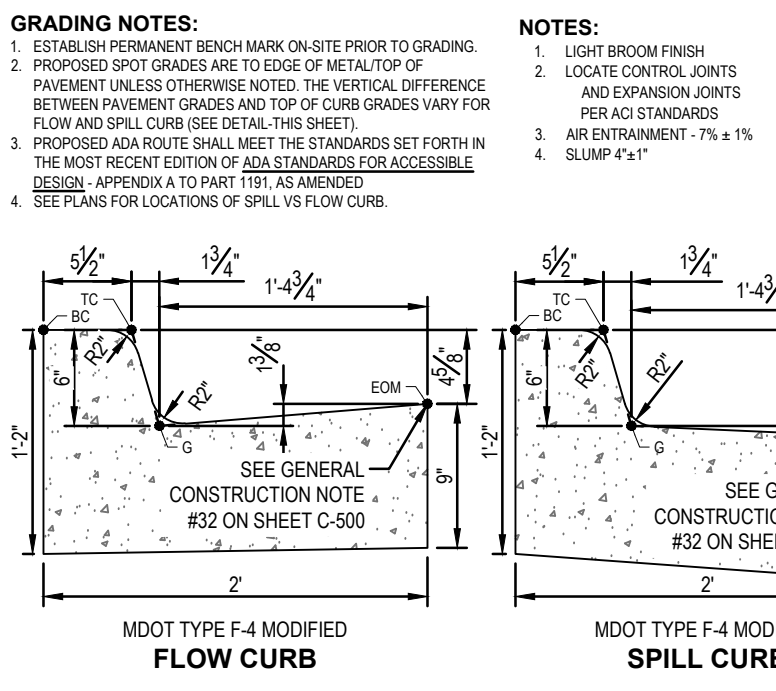
1. REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT DESIGN SPECIFICATION
2. HMA MIXTURE TO BE TIER I OR TIER II
3. BINDER GRADE TO BE A MINIMUM OF PG 58-28

N.T.S

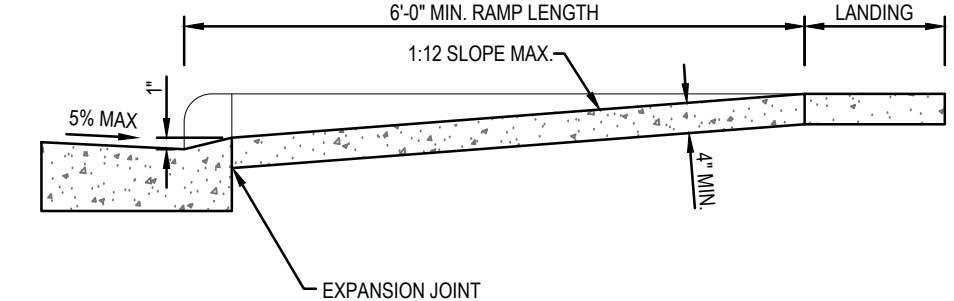


NOTE:  
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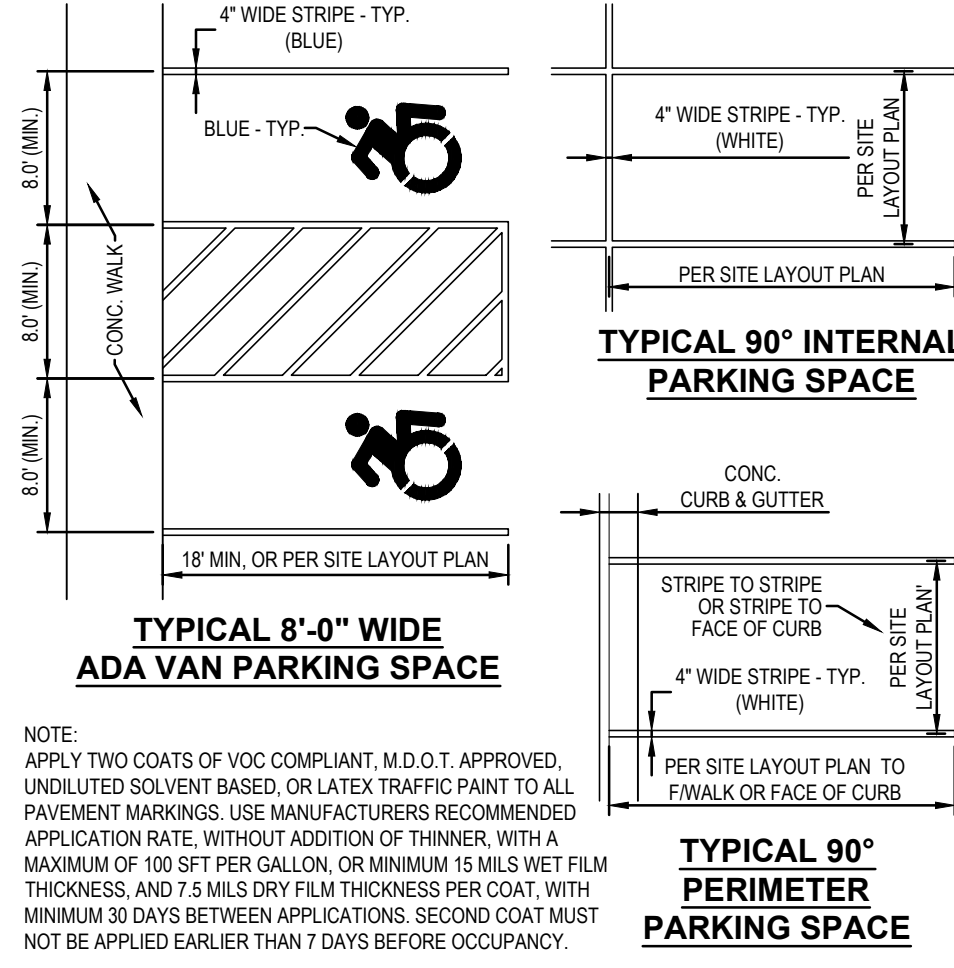
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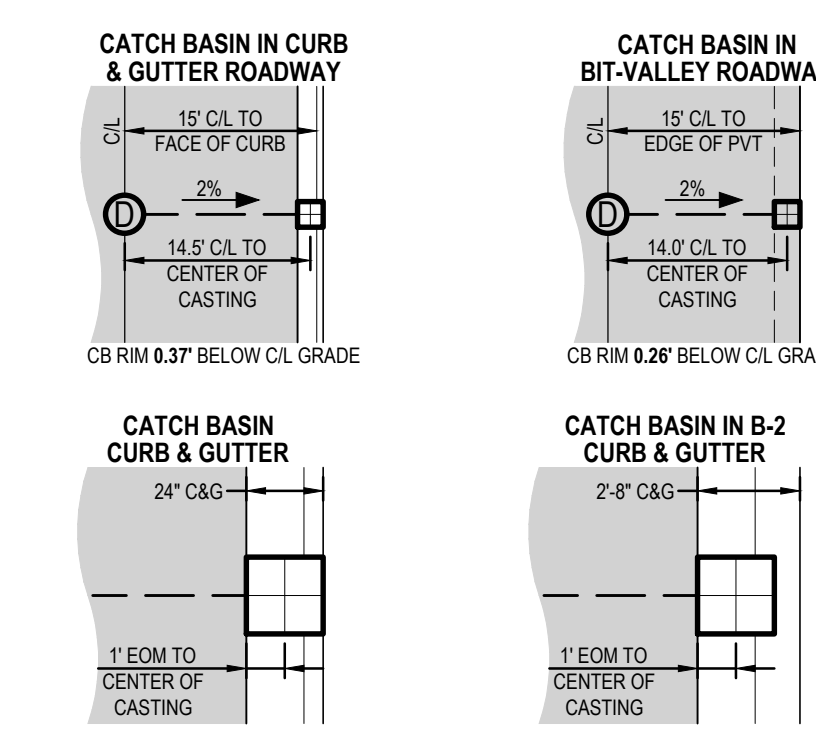
### 24" CONCRETE CURB AND GUTTER DETAIL



## NTS



### PARKING SPACE MARKING DETAILS



### CATCH BASIN PLACEMENT DETAIL

Land Planning — Landscape Architecture — Civil Engineering — Land Surveying — Reality Capture — Forensic Services

— Land Surveying — Reality Capture — Forensic Services

N.T.S.

N.T.S.

50

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PREPARED FOR:

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Attention: Jason Berris

440 West Division  
PO Box 247  
Sparta, MI 49345  
Phone: 616.887.0956

REVISIONS:

Title: Preliminary Concept Plan

Drawn: SW

Checked: SW

Date: 02/13/26

Title: Preliminary Concept Plan

Drawn: SW

Checked: SW

Date: 03/11/26

Title: Site Plan

Drawn: SW

Checked: SW

Date: 03/23/26

Title: Site Plan - Special Use Submittal

Drawn: SW

Checked: SW

Date: 04/02/26

Title: Site Plan Submittal

Drawn: SW

Checked: SW

Date: 05/19/26

Title: Site Plan Resubmittal

Drawn: SW

Checked: SW

Date: 08/07/26

Title: Site Plan ZBA and Final Site Plan Submittal

Drawn: SW

Checked: SW

Date: 08/18/26

TYPICAL SHRUB / PERENNIAL /  
ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.

TYPICAL TREE PLANTING DETAIL

N.T.S.

BENCHMARKS

**BENCHMARK #54 ELEV. = 909.83 (NAVD88)**  
Set benchmark on SE bolt of sign post/light pole. Located 64± North of the centerline of Stadium Drive & 70± East of the centerline of Drake Road.

**BENCHMARK #500 ELEV. = 917.64 (NAVD88)**  
Set benchmark on SE flange bolt to hydrant. Located 229± North of the centerline of Stadium Drive & 43.5± East of the centerline of Drake Road.

LOCATION MAP

NOT TO SCALE

LEGEND

|  |                                     |
|--|-------------------------------------|
|  | EXISTING BITUMINOUS                 |
|  | EXISTING CONCRETE                   |
|  | PROPOSED BITUMINOUS (STANDARD DUTY) |
|  | PROPOSED BITUMINOUS (HEAVY DUTY)    |
|  | PROPOSED CONCRETE (STANDARD DUTY)   |
|  | PROPOSED CONCRETE (HEAVY DUTY)      |

0' 10' 20' 40'  
SCALE: 1" = 20'

LANDSCAPE NOTES

PLANTING NOTES:

- 1) ALL PLANT MATERIAL SHALL BE LOCALLY NURSERY GROWN NO.1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNTIL DIRECTED BY OWNER, LANDSCAPE ARCHITECT, AND/OR CONSTRUCTION MANAGER. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
- 2) SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
- 3) ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- 4) MAINTENANCE OF LANDSCAPING ITEMS, TREES, AND PLANTS SHALL BE PERFORMED BY THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED-FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO.
- 5) PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE, AND BACKFILL TO TOP OF ROOT BALL.
- 6) REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
- 7) FINELY SHREDDED HARDWOOD BARK MULCH, NATURAL COLOR (NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. MULCH PER PLANTING DETAILS. MULCH IN PLANT BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION. ALL PLANTING BEDS SHALL BE EDGED WITH 6" X 12 GAUGE STEEL LANDSCAPE EDGING.
- 8) LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXIST, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.
- 9) PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.

TOPSOIL AND TURF NOTES:

- 1) WHEREVER GROUND IN ITS NATURAL STATE HAS BEEN DISTURBED, APPROVED LANDSCAPING OR GRASS SHALL BE FULLY INSTALLED, AND ESTABLISHED WITHIN A REASONABLE PERIOD OF TIME, BUT NO LONGER THAN ONE GROWING SEASON (UNLESS OTHERWISE NOTED AND APPROVED).
- 2) DURING EXCAVATION, GRADING, AND INSTALLATION OF REQUIRED LANDSCAPING, ALL SOIL EROSION AND SEDIMENTATION CONTROL REGULATIONS SHALL BE STRICTLY FOLLOWED AND COMPLIED WITH.
- 3) ALL LAWN AREAS SHALL RECEIVE SOD OR HYDROSEED. TURF SHALL BE INSTALLED ON TOPSOIL UNLESS APPROVED OTHERWISE. DO NOT PLANT UNTIL ACCEPTANCE OF FINISH GRADE.
- 4) SOD SHALL BE GROWN ON TOPSOIL UNLESS APPROVED OTHERWISE. SOD SHALL BE 2 YEARS OLD AND STRONGLY ROOTED. PLACE SOD TIGHTLY WITH NO GAPS AND WITH GRAIN IN SAME DIRECTION. SEAMS OF SOD SHALL BE STAGGERED IN A RUNNING BOND PATTERN. SOD SHALL BE WATERED IMMEDIATELY TO AVOID DRYING OUT. DO NOT INSTALL SOD UNTIL ACCEPTANCE OF FINISH GRADE AND IRRIGATION SYSTEM IS OPERATING PROPERLY UNLESS DIRECTED IN WRITING TO DO OTHERWISE. FINISH ROLL SOD WITH A WATER FILLED LAWN ROLLER, ROLL PERPENDICULAR TO LENGTH OF SOD.
- 5) TURF SHALL BE INSTALLED ON A MIN. OF 3"-4" OF LIGHTLY COMPACTED APPROVED TOPSOIL. TOPSOIL SHALL BE FERTILE, SCREENED, FRAMBLE TOPSOIL, FREE OF STONES 1/2" IN DIA. AND LARGER, ROOTS, STICKS, OR OTHER EXTRANEIOUS MATERIAL INCLUDING NOXIOUS PLANTS. PH BETWEEN 6.0 AND 6.5, SALTS 500 PARTS PPM, ORGANIC CONTENT 3% MIN. DO NOT INSTALL TOPSOIL UNTIL APPROVED BY OWNER/C.M. TOPSOIL SHALL BE FINE GRADED TO A SMOOTH FINISH, FREE OF LUMPS AND DEPRESSIONS.
- 6) ALL LANDSCAPE ISLANDS WITHIN PARKING LOTS SHALL BE BACK FILLED WITH TOPSOIL TO A DEPTH OF 18" MIN.

IRRIGATION NOTES:

- 1) ALL PLANTING AREAS, LAWN AREAS AND LANDSCAPE ISLANDS SHOWN ARE TO HAVE A COMPLETE IRRIGATION SYSTEM. THE G.C. SHALL BE RESPONSIBLE FOR RETAINING A QUALIFIED FIRM FOR THE DESIGN OF THE IRRIGATION SYSTEM. THE DESIGN MUST SHOW HOW THE SYSTEM TIES INTO THE BUILDING AND MUST SHOW ALL OF THE NECESSARY EQUIPMENT FOR A COMPLETE SYSTEM. THE G.C. SHALL SUBMIT THE IRRIGATION SYSTEM DESIGN TO THE ARCHITECT/OWNER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

LANDSCAPE CALCULATIONS

TREE CANOPY REQUIREMENTS - 50-8.4.B

ONE (1) TREE PER ACRE WITH ONE (1) TREE MINIMUM

SITE = 37,000 SQ. FT. (+/- 0.78 AC)

REQUIRED: 1 TREE

PROPOSED: 8 TREES & 1 TREE EXISTING TO REMAIN

PARKING AND LOADING PERIMETER - 50-8.4.C

ARCHITECTURAL AND LANDSCAPE SCREEN BETWEEN PARKING/LOADING AND STREET ROW

65.0' ALONG STADIUM DRIVE

REQUIRED: TWO (2) TREES & 11 SHRUBS

PROPOSED: TWO (2) TREES & 11 SHRUBS

28.0' ALONG SOUTH DRAKE ROAD

REQUIRED: ONE (1) TREE & FIVE (5) SHRUBS

PROPOSED: ONE (1) TREE AND 5 SHRUBS

181.0' ALONG CORNER PROPERTY LINE

REQUIRED: FIVE (5) TREES & 30 SHRUBS

PROPOSED: FIVE (5) TREES AND 29 SHRUBS

PARKING AND LOADING INTERIOR - 50-8.4.D

PARKING LOTS WITH 30 OR MORE SPACES

REQUIRED: N/A

PROPOSED: N/A

SIDE AND REAR YARD LANDSCAPE SCREENING - 50-8.4.E

WHEN LOCATED ADJACENT TO RESIDENTIAL USES, OPEN SPACE, PARK, OR PRESERVE

REQUIRED: N/A

PROPOSED: N/A

LANDSCAPE SCHEDULE

| SYMBOL | CODE | BOTANICAL NAME | COMMON NAME | SIZE | QTY |
|--------|------|----------------|-------------|------|-----|
|--------|------|----------------|-------------|------|-----|

TREES

|          |                                |                             |           |   |
|----------|--------------------------------|-----------------------------|-----------|---|
| Celt prs | Celtis occidentalis 'JFS-KSU1' | Prairie Sentinel® Hackberry | 2.5" Cal. | 3 |
| Lt       | Liriodendron tulipifera        | Tulip Poplar                | 2.5" Cal. | 2 |
| Nys fdp  | Nyssa sylvatica 'David Odor'   | Afterburner® Tupelo         | 2.5" Cal. | 2 |

SHRUBS

|         |                                  |                        |     |    |
|---------|----------------------------------|------------------------|-----|----|
| Jx      | Juniperus x 'Grey Owl'           | Grey Owl Juniper       | #5  | 7  |
| Phy tl6 | Physocarpus opulifolius 'SMPTOW' | Tiny Wine® Ninebark    | #5  | 18 |
| Pp      | Pinus mugo 'Pumilo'              | Dwarf Mugo Pine        | #10 | 6  |
| Tc2     | Thuja occidentalis 'Congabe'     | Fire Chief™ Arborvitae | #7  | 11 |

PERENNIALS

|         |                            |                         |    |   |
|---------|----------------------------|-------------------------|----|---|
| Sal mry | Salvia yangii 'Blue Steel' | Blue Steel Russian Sage | #3 | 8 |
|---------|----------------------------|-------------------------|----|---|

811

Know what's below.  
CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE:  
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANT" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

Land Planning — Landscape Architecture — Civil Engineering — Land Surveying — Reality Capture — Forensic Services

AGO - CITGO  
4710 STADIUM DR.

Landscape Plan

4710 Stadium Drive  
PART OF THE NORTHWEST 1/4 OF SECTION 30, T2S, R17W,  
CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

SEAL:

PROJECT NO:  
26200097

SHEET NO:  
**L-100**  
8 OF 8

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ZONING BOARD OF APPEALS

**DIMENSIONAL VARIANCE REVIEW SHEET**

**General Information**

Specific Project Details (may also provide on a separate sheet):

**Review Criteria for Dimensional Variances**

*ZBA will review all Dimensional Variance requests using the following criteria. Please reach out to staff if you have questions.*

Are there conditions, like unusual topography, the shape of the lot or structure that are not commonly found on other lots or structures in the same zone district that make this request unique?

Are there special circumstances which are not the result of the actions of the applicant or property owner of the land that impact the project?

Does the Ordinance deprive the applicant of rights enjoyed by other property owners in the same zone district?



## Community Planning & Economic Development

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(269) 337-8026 • [www.kalamazoo.org](http://www.kalamazoo.org)

Is this the minimum action which will make it possible to use the lot or structure in a manner that does not negatively impact the public and meets the spirit of this Ordinance?

Will the granting of the variance negatively affect adjacent land?

Will the granting of the variance be generally consistent with the purpose and intent of this Ordinance?

### Additional Criteria for Variance Requests for Required Landscaping

Does existing landscaping, screening or wetlands planned to be preserved meet the intent of the Ordinance?

Does the landscaping proposed by the applicant meet the intent of this section?



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Are there steep changes in topography that would limit the benefits of landscaping?

Are the proposed building and parking lot locations setback beyond the required setback?

Are there abutting lands developed or could be developed in the near future with a use other than residential?

Do similar landscaping conditions exist which would result in no added benefit if additional landscaping or screening was provided?

GOOGLE STREET VIEW  
DRAKE ROAD FRONTAGE

